

Spanish Trails Specific Plan

FINAL
Spanish Trails Specific Plan

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Section 1. Introduction

1.1 Project Overview

The Spanish Trails Specific Plan is a proposal by Frontier Communities (Applicant) to develop a residential community on approximately 4.75 gross acres (Project Site) located north of 15th Street and east of Benson Avenue in the City of Upland. The regional location of the Project Site is illustrated in Exhibit 1, “Regional Context Map” and is further described in the “Project Vicinity Map,” Exhibit 2.

The Project Site is an infill site surrounded by existing single family residential use and public parks. The Spanish Trails Specific Plan is a comprehensive plan for development of 39 single family detached residential units on individual lots and on-site recreational amenities for its residents.

The Spanish Trails community incorporates the traditional housing styles of Upland, California, while also reflecting the architecture of recently built neighborhoods. The architectural styles of Spanish Trails are influenced and inspired by Spanish, Italianate, and French Country that echo the classic architecture of the Southern Californian regions. Spanish Trails integrates styles, elements, and a mix of materials from both established and newer residential communities located near the Project Site. The use of Spanish roof tiles, gable end details, and delicate metal rails reflects the classic Spanish style of the historical Upland communities. Similarly, the vertical corner details, symmetry, and arched openings of the Italianate style, and the corbels, stone siding, and steep roof pitches of the French Country architectural style, capture the details of the past and present styles of Upland. Homes within Spanish Trails also reflect the massing and scale of the neighboring homes by using similar proportions, heights, and footprints allowing for the Spanish Trails community to comfortably

blend with the existing neighborhood and the community at large.

Construction of new Project roadways and infrastructure is planned to connect to existing facilities located adjacent to the Project Site. The proposed plan utilizes existing circulation and transportation facilities reducing the need for construction of additional arterial and major roadway extensions or improvements to serve the Project Site.

The proximity of the Project Site within walking and biking distance to existing recreational and commercial facilities can help to reduce automobile trips to and from the Project Site. The Project provides pedestrian and bicycle connectivity to nearby recreational facilities and commercial centers. The existing City of Upland Greenbelt Park, located across 15th Street from the Project Site on the south, offers active and passive recreational opportunities for residents. Commercial services within biking distance from the Project Site are located approximately .8 miles away at the corner of Mountain Avenue and 16th Street in the Upland Northwest Center. This center offers supermarket shopping, restaurants and personal services for residents in the vicinity.

Spanish Trails is designed to create a distinctive sense of place for residents as a “walkable” community with a pedestrian friendly street system creating an atmosphere where neighbors can visit with one another while walking throughout the community. A centrally located common area open space offers active and passive recreational amenities for residents and a community gathering place for residents. Residences are planned to front onto streets, enabling residents to have their “eyes on the street,” promoting a safe hometown feel and encouraging interaction among neighbors.

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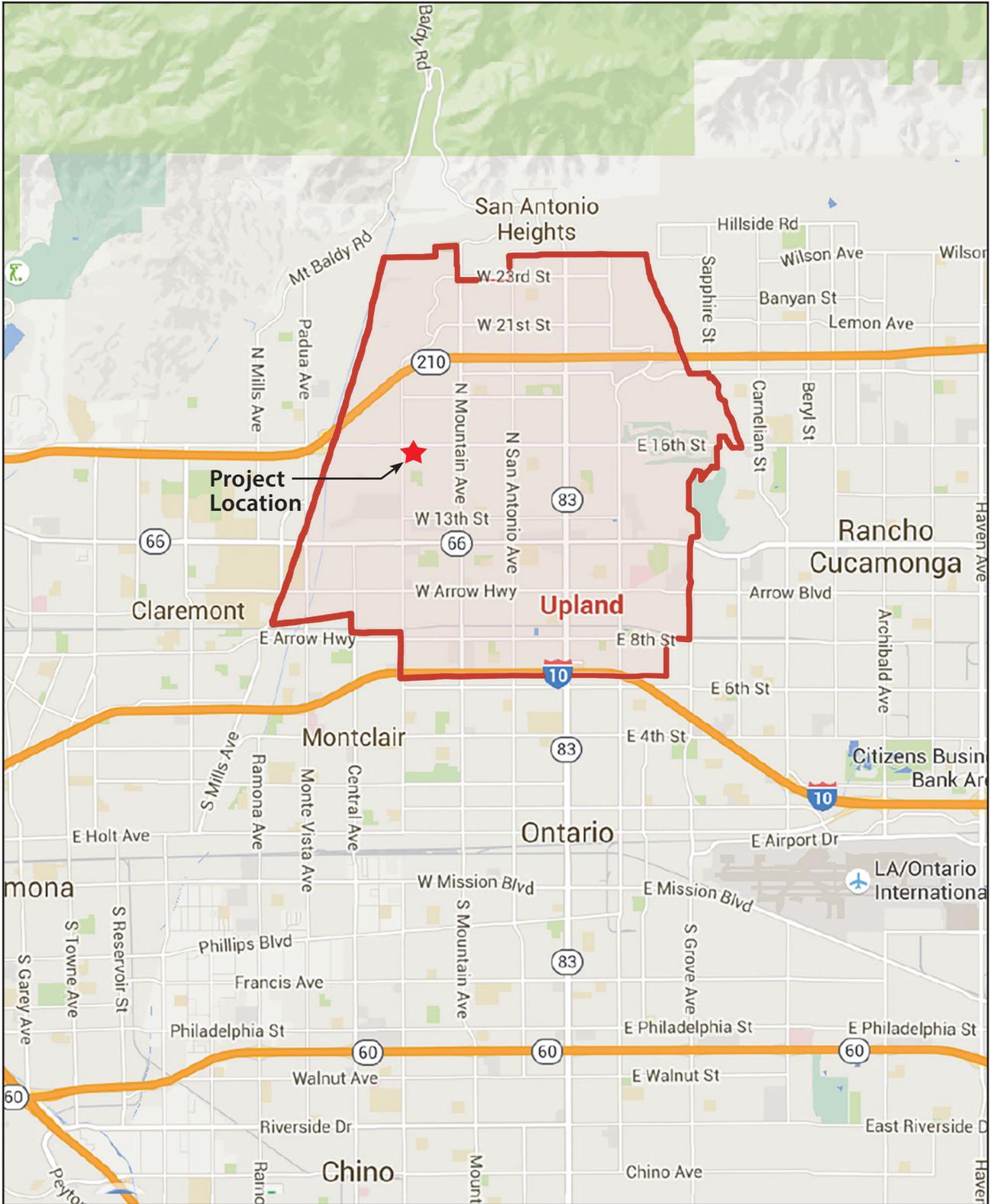
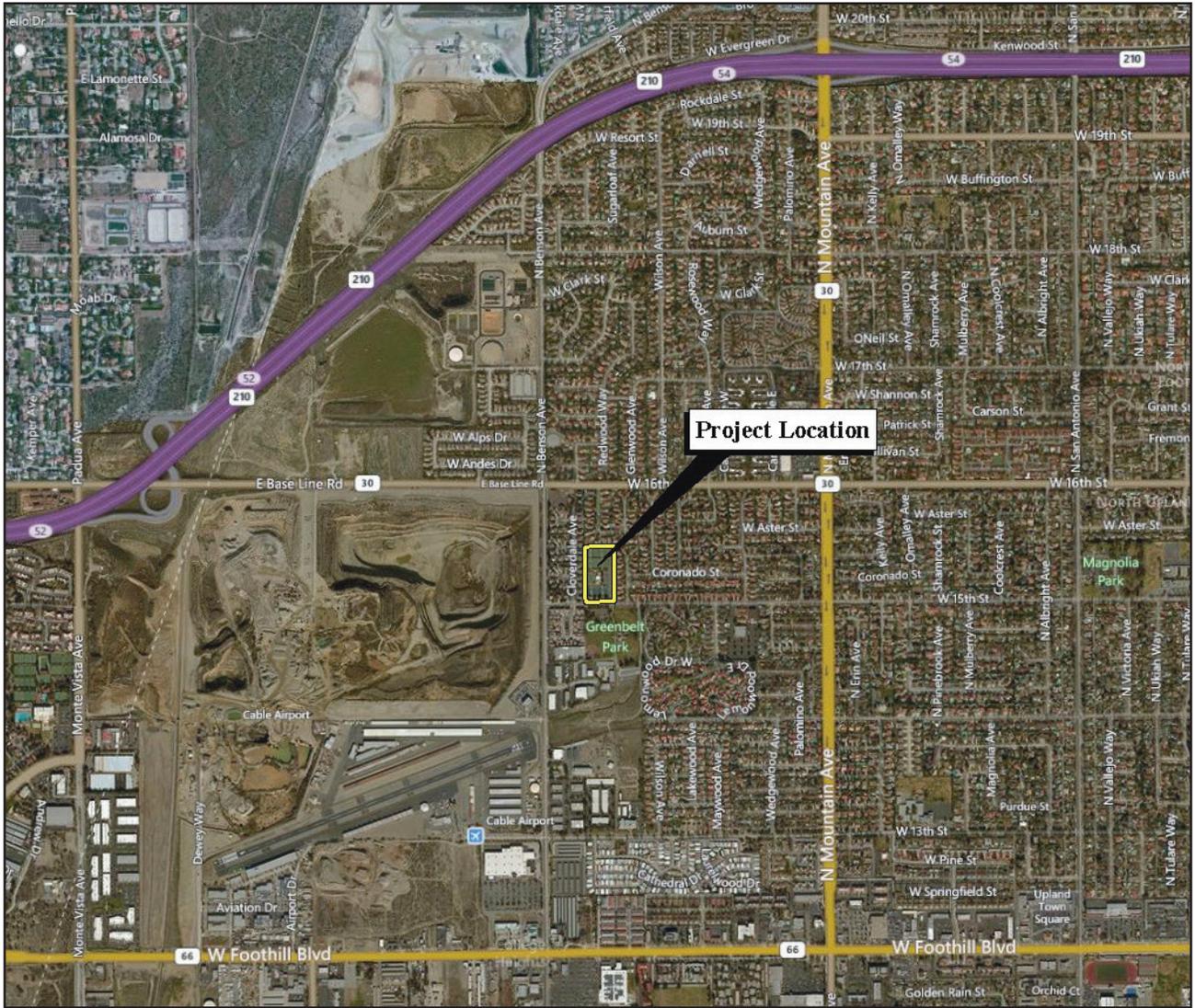


Exhibit 1
Regional Context Map

Source: Google Maps, 2015



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Source: LSA



Exhibit 2
Project Vicinity Map

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1.2 Project Setting

The Project Site is bounded by residential uses on the north, east, south, and southwest and by a park on the southeast. The physical setting for the Project Site is illustrated on Exhibit 3, “Project Setting.” The Project Site has historically been used as a public tennis facility and is improved with tennis courts, a clubhouse and a parking lot. The Project Site is no longer in operation as a tennis facility and has been made available by the property owner to the Applicant for redevelopment as a residential community.

1.3 Purpose and Authority

1.3.1 Purpose

The City of Upland General Plan Land Use Map designates the Project Site as Single Family Medium Residential, 4-10 dwelling units per acre (SFR-M). The Project Site has a zoning district classification of Single Family Medium Residential (RS-7.5) permitting development of single family residential land use on minimum lot sizes of 7,500 square feet. Adoption of the Spanish Trails Specific Plan constitutes a zone change for the Project Site to “Specific Plan” (SP) to permit residential development on lots of less than 7,500 square feet in size at a density of 8.21 dwelling units per acre consistent with the General Plan SFR-M land use designation.

The Spanish Trails Specific Plan is a comprehensive plan for development of residential and private open space land uses and infrastructure improvements to serve the development. The Spanish Trails Specific Plan establishes the development regulations and design criteria for development of the Project Site as well as the procedures and requirements enabling City review and approval of development within the Project Site thereby ensuring that the City’s General Plan is implemented.

1.3.2 Authority of the Specific Plan

State of California Government Code, Title 7, Division 1, Chapter 3, Article 8, Section 65450-57, grants authority to cities to adopt specific plans for purposes of implementing the goals and policies of their general plans. The Government Code specifies that specific plans may be adopted either by resolution or by ordinance and that the specific plan must be consistent with the general plan. The Government Code sets forth the minimum requirements and review procedures for specific plans including provision of a land use plan, an infrastructure and public services plan, criteria and standards for development, and implementation measures. The Government Code also states that specific plans may address any other subjects which, in the judgment of the city, are necessary or desirable for implementation of the general plan.

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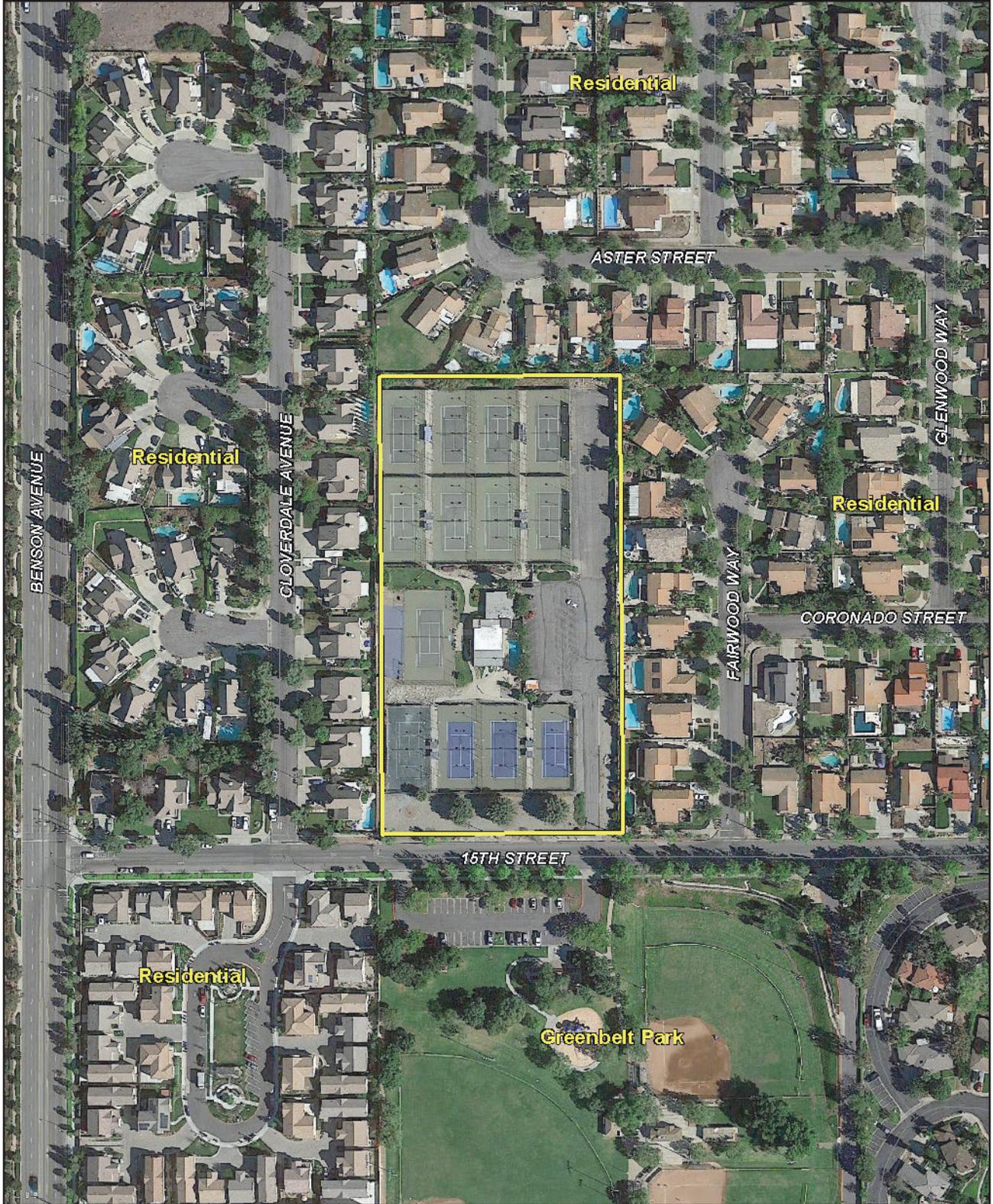


Exhibit 3
Project Setting

Source: LSA



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1.4 Objectives

The Spanish Trails Specific Plan addresses the following planning and design objectives to ensure that development of the Project Site is consistent with the City's General Plan and serves as a foundation for the design of a residential community providing a sense of place for residents and responding to the existing surrounding built environment.

Objective 1:

Foster a sense of community and promote a unified and cohesive neighborhood environment through the following design measures:

- Create a distinctive community design with a well designed entry, streetscapes, walls, and entry monument.
- Provide for architectural diversity within the community with varying residential floor plans and architectural styles.
- Create a strong sense of arrival into the Project Site through an enhanced community entry.
- Provide for landscaped walkways within the community creating an inviting street scene for pedestrians.
- Provide for on-site recreational opportunities for residents through provision of common area open space within the community offering recreational amenities for all age groups.

Objective 2:

Design a development plan which ensures the community is adequately served by public facilities, infrastructure, and utilities without the need for extensions or improvements to existing facilities through the following measures:

- Provide for a simple two way private loop street system connecting to an existing public

arterial roadway, and minimize points of access to existing roadways.

- Provide for a pedestrian and bicycle friendly circulation system providing connectivity within the community and connecting to 15th Street where pedestrians and bicyclists can access public streets and sidewalks which connect to existing adjacent residential neighborhoods, the City of Upland Greenbelt Park located across 15th Street south of the Project Site, and to retail commercial centers in the vicinity of the Project Site.
- Provide for adequate storm water collection within the Project Site to contain on-site and off-site flows affecting the property.
- Provide for adequate wastewater facilities on-site and ensure that adequate capacity is available within existing public sewer facilities to serve the Project Site.
- Provide on-site facilities for water quality treatment and ground water replenishment.
- Participate in payment of appropriate Development Impact Fees to accommodate the public service needs generated by the community.

Objective 3:

Incorporate the following green and sustainable design features into the development plan.

- Design homes with opportunities for home offices allowing people to work from home reducing driving time and vehicle emissions.
- Incorporate native plant materials and/or drought tolerant plant materials within the landscaping of public spaces, and encourage homeowners to utilize drought tolerant plant materials in private yard areas.
- Design homes with currently available technology for internet access allowing residents to shop and work on-line, helping to reduce

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vehicle trips to employment centers and shopping.

- Incorporate passive solar design and energy efficient construction materials and techniques into residential design such as cool roofs, dual pane windows, increased insulation to minimize heat transfer and thermal bridging, and roofs designed to accommodate homeowner installation of solar panels to help reduce energy demand.
- Implement “dark sky friendly” outdoor lighting within streets and common area open space.
- Provide for a plant palette which includes canopy trees to achieve natural ventilation and cooling and use of water conserving landscape plant materials and irrigation systems.
- Provide for a landscape and irrigation plan consistent with Upland Municipal Code Chapter 17.12 (Landscaping) and the State Model Water Efficient Landscape Ordinance (23 C.C.R § 490 et seq.)

1.5 Project Summary

The Spanish Trails Specific Plan (Specific Plan) is a comprehensive plan for the development of a residential community (Project) of up to 39 single family detached residential dwelling units designed around a simple private two way loop street system with pedestrian walkways linking residences to common area open space distributed throughout the community. The Project street and walkway system provides walking and biking opportunities for residents to nearby parks and commercial centers.

1.5.1 Residential

Single family detached residential dwellings are proposed in a variety of styles and floor plans. The Project incorporates three distinctive architectural styles for homes influenced and inspired by Spanish, Italianate, and French Country architecture as depicted in Specific Plan Section 4.6 "Architectural Design." Development of a total of 39 single family detached dwelling units is proposed at a density of 8.21 dwelling units per gross acre. Private streets within the Project provide access to residential dwellings. All residential dwellings are planned as street fronting units.

1.5.2 Common Area Open Space

The proposed Project includes provision of approximately 15,474 square feet (approximately 0.36 acres) of common area open space distributed throughout the community. A centrally located open space area is planned for a basket ball court, exercise station, children's play area, and barbeque and picnic area. Two individual pocket parks are planned for passive recreational use by residents.

1.5.3 Pedestrian and Bicycle Connectivity

The Project includes a simple private two way loop street system with a sidewalk on one side of each private street in most instances, on both sides of the street adjacent to the centrally located common open space area, and within the common open space area providing pedestrian connectivity throughout the Project. The connection of the Project street and walkway system to 15th Street will allow for on-street bicycle and pedestrian connectivity within the community, to Greenbelt Park located south of the Project Site, to commercial services located at Mountain Avenue and 16th Street approximately .8 miles away, and to a commercial center located along Foothill Boulevard near Euclid Avenue.

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1.5.4 Infrastructure

The Specific Plan proposes new on-site roadways, water mains, sewer mains, and drainage facilities designed to connect to 15th Street and existing public facilities located within 15th Street. Expansion of existing roadways or infrastructure facilities is not necessary to serve the Project.

1.6 Governing Documents

The adoption of the Specific Plan is the first step in a process leading to the development of the Project. The development of the Project is also governed by the following documents.

1.6.1 General Plan

California Government Code (Title 7, Division 1, Chapter 3, Article 8, Section 65450-65457, permits the adoption and administration of a specific plan as an implementation tool for elements contained in the local general plan. Specific plans must demonstrate consistency in regulations, guidelines, and programs with the goals and policies set forth in the general plan. In September 2015 the City adopted the "City of Upland General Plan" which sets forth the following topics to address the state mandated general plan elements:

- Land Use
- Circulation
- Housing
- Open Space and Conservation
- Safety (which includes the state mandated Noise Element)

In addition to the state mandated elements, the City of Upland General Plan includes the following elements:

- Focus Areas
- Community Character and Urban Design

- Economic Sustainability
- Healthy Community

The Specific Plan is consistent with applicable goals, objectives, and policies of the Upland General Plan pertaining to the planned development as described in Section 6, "General Plan Consistency."

1.6.2 Specific Plan

The Specific Plan serves as a legal document to implement the General Plan land use designation for the Project Site of Single Family Medium Residential, 4-10 dwelling units per acre (SFR-M). Adoption by the City of the Specific Plan changes the zoning district for the Project Site from Single Family Medium Residential (RS-7.5) to "Specific Plan" (SP). Adoption of the Specific Plan establishes land use and development regulations designed to govern development of the Project Site. In instances where the Specific Plan is silent, regarding a specific development standard or procedure for implementing the Specific Plan, the Upland Municipal Code Zoning Code Title 17, (Planning and Zoning) shall prevail. The Specific Plan provides a "blueprint" for development of the Project establishing permitted uses, a land use plan, the development requirements, and design criteria for land development as set forth herein.

1.6.3 Subdivision Maps

Approval by the City of a Tentative and Final Tract Map is required for the development of the Project. The Tentative Tract Map will be prepared pursuant to the applicable provisions of the State of California Subdivision Map Act (Government Code Section 66410 through 66499), the City of Upland Municipal Code, Title 16, "Subdivisions," and consistent with the applicable provisions of the Specific Plan.

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1.6.4 Development Plan Review

Applicable provisions of Upland Municipal Code, Title 17, (Planning and Zoning) Section 17.44.030 (Development Plan Review) shall apply to the review and approval of the site development plans for the proposed Project.

1.6.5 Covenants, Conditions, and Restrictions

Covenants, Conditions, and Restrictions (CC&Rs) will be established by the Applicant as a means of ensuring and enforcing quality design of the Project over the long term and the continued uniform maintenance of streets, common areas, and street and common area landscaping.

1.7 CEQA Compliance

A Mitigated Negative Declaration (MND) has been prepared by the City of Upland for the Project in accordance with the California Environmental Quality Act (CEQA) and City requirements to provide a detailed analysis of potential environmental impacts associated with the development of the Project. The MND prepared for the Project addresses the potential impacts associated with the Specific Plan and all Project related discretionary and ministerial applications associated with implementation of the Project. The MND includes recommended mitigation measures to reduce potential significant impacts of the Project to a less than significant level.

1.8 Specific Plan Components

The Specific Plan is organized into the following sections in addition to Section 1, "Introduction."

Section 2 - Development Plan

This section describes the physical setting for the Project Site outlining the existing physical conditions found within and surrounding the Project Site, the Project land use plan describing residential and open space land use areas of the Project

and the infrastructure, fire safety, and grading improvements proposed for the Project.

Section 3 - Development Regulations

This section establishes the allowable land use within the Project Site and standards and requirements for development of all land uses within the Project Site.

Section 4 - Design Criteria

The Design Criteria establishes the architectural and landscape design requirements for the Project to ensure that a cohesive community of distinctive design quality, definitive architecture, and comprehensive landscaping is achieved.

Section 5 - Implementation

The policies and procedures for the administration of the Specific Plan, procedures for the review and approval by the City of specific development proposals within the Project Site, Project financing, and Project maintenance responsibilities within the development are described in this section.

Section 6 - General Plan Consistency

The relationship of the Specific Plan to the applicable policies of the Upland General Plan is discussed in this Section.

Section 2. Development Plan

The Specific Plan is a proposal for development of a planned residential community within an existing urban setting on approximately 4.75 gross acres in the City of Upland. This section describes the land use plan and the plan for infrastructure and public services for the community.

2.1 Land Use

The proposed development of the Project Site is depicted on Exhibit 4, “Land Use Plan” and is further described in Table 2.1, “Statistical Summary.” The Project is designed to respond to both on-site and off-site conditions, as well as anticipated market conditions. The Specific Plan ensures that a strong community identity is established for residents and visitors through a cohesive plan for residential and open space areas.

Table 2.1

Statistical Summary

Land Use	Acres	Dwelling Units	Gross Density
Residential	3.37	39	
Common Area Open Space	.355 (15,474 sq.ft.)		
Private streets (curb to curb)	1.03		
Total	4.75	39	8.21 du/acre

2.1.1 Residential Use

Approximately 3.37 acres of the Project Site are planned for development of 39 single family detached residential dwelling units.

a. Residential Design

Residential dwellings shall be designed to front onto private streets with floor plans designed to present an “architecture forward” image so that the residence and not the garage

is the predominant view from the street.

Residential design incorporates human-scale details to promote a pedestrian friendly character for the community. Such details include the use of railings, enhanced entries, a mix of materials and textures, and authentic detailing on elements such as windows and doors, columns, balconies, and lighting.

b. Community Design

The Specific Plan offers a strong community identity for residents and visitors through a unified approach to site design, architecture, and landscape design elements. Landscaped private streets and walkways linking residences to private open space encourage neighborly interaction.

2.1.2 Open Space Use

Approximately .355 acres (15,474 square feet) of private common area open space are provided as part of the Project to include a centrally located .315 acre park improved with picnic tables, barbecue facilities, a basketball court, exercise area, and children’s play area. This park will provide residents with an inviting environment for informal gathering and a place to meet and greet each other as part of leisurely walks through the community. Two informal pocket parks of .02 acres each are located at the northerly portion of the Project Site to be improved with landscaping and benches offering additional passive recreational areas for residents.

2.2 Circulation

Access to the Project Site is provided from 15th Street. A Community Entry for the Project and two emergency vehicle access points will be located along 15th Street to serve the Project. An internal two way loop street system provides primary circulation within the Project with three separate streets branching off of the loop street serving residential dwellings. All streets are planned as private roadways.

SECTION 2. DEVELOPMENT PLAN

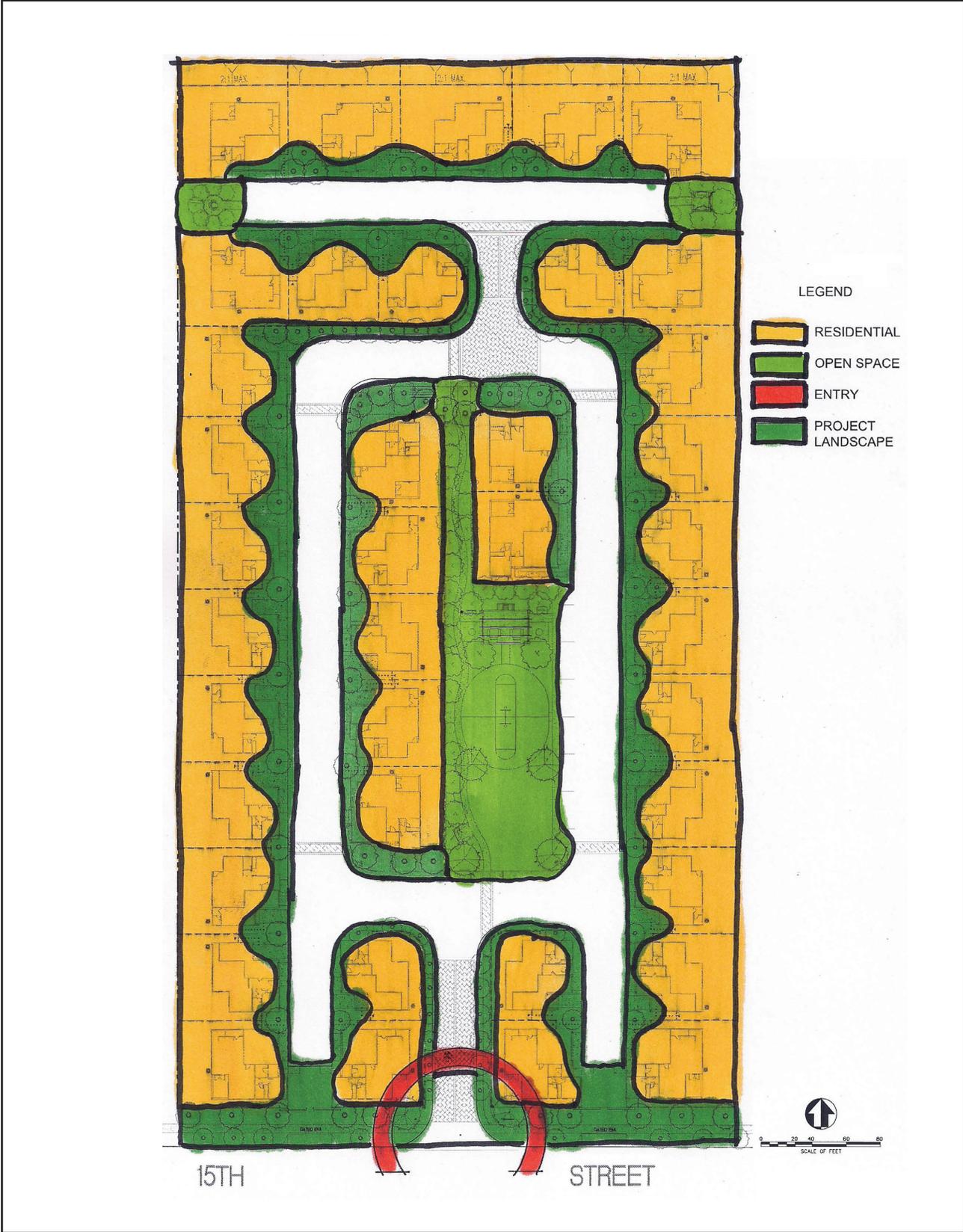


Exhibit 4
Land Use Plan

The circulation system serving the Specific Plan is illustrated on Exhibit 5, “Master Plan of Circulation.”

2.2.1 15th Street

Ultimate curb to curb improved right of way for 15th Street is 66 feet with 40 feet of paved travel area and a 5 foot sidewalk separated from the street by a 7.5 foot landscaped parkway on each side of 15th Street. As part of the development of the Project, the developer will remove three existing olive trees adjacent to the parkway. New trees will be planted at a ratio of 2:1 within the Project Site. The developer will install new parkway landscaping within the area adjacent to the parkway and within the 15th Street right of way, including the parkway adjacent to the Project Site. The existing right of way for 15th Street is illustrated on Exhibit 6, “15th Street Cross Section.”

2.2.2 Project Streets

On site Project circulation is provided by means of a private two way loop street with a paved travel area varying in width from 26 to 28 feet. On-street parking is permitted in designated segments of the loop street. In most cases where residential units front both sides of the street a sidewalk is provided on one side of the street. Where the centrally located common area open space fronts the street on one side and residential units front the street on the opposite side a sidewalk is provided on both sides of the street. Two emergency vehicle access drives are provided along 15th Street on either side of the Project Entry. Enhanced paving materials are planned to be installed at the main entry street, at a connector street at the northerly portion of the Project Site, and at crosswalk areas within the private street system. Private street improvements for the Project are illustrated on Exhibits 7 and 8, “Private Street Cross Sections.”

2.2.3 Pedestrian and Bicycle Mobility

The Project street system includes sidewalks providing for pedestrian mobility within the community. A separate pedestrian walkway will be provided within the centrally located common area open space of the Project connecting to sidewalks within the loop street.

The Project Street system allows for on street bicycle mobility. The Project street and sidewalk system connects to 15th Street where bicyclists and pedestrians can continue on existing streets and sidewalks to the Greenbelt Park located to the south of the Project Site, to general retail commercial services located at Mountain Avenue and 16th Street approximately .8 miles away, and to commercial services located on Foothill Boulevard near Euclid Avenue, approximately 2.3 miles away.

2.3 Infrastructure and Public Services

2.3.1 Water

The City of Upland Water Department provides water service to the City of Upland. Water service to the Project Site is provided via an existing 8 inch diameter water main located in 15th Street. The development of the Project includes construction of a network of 8 inch diameter on-site water mains adequate to provide for the domestic and fire protection water requirements of the Project. Exhibit 9, “Water Master Plan” illustrates the proposed water system to serve the Project.

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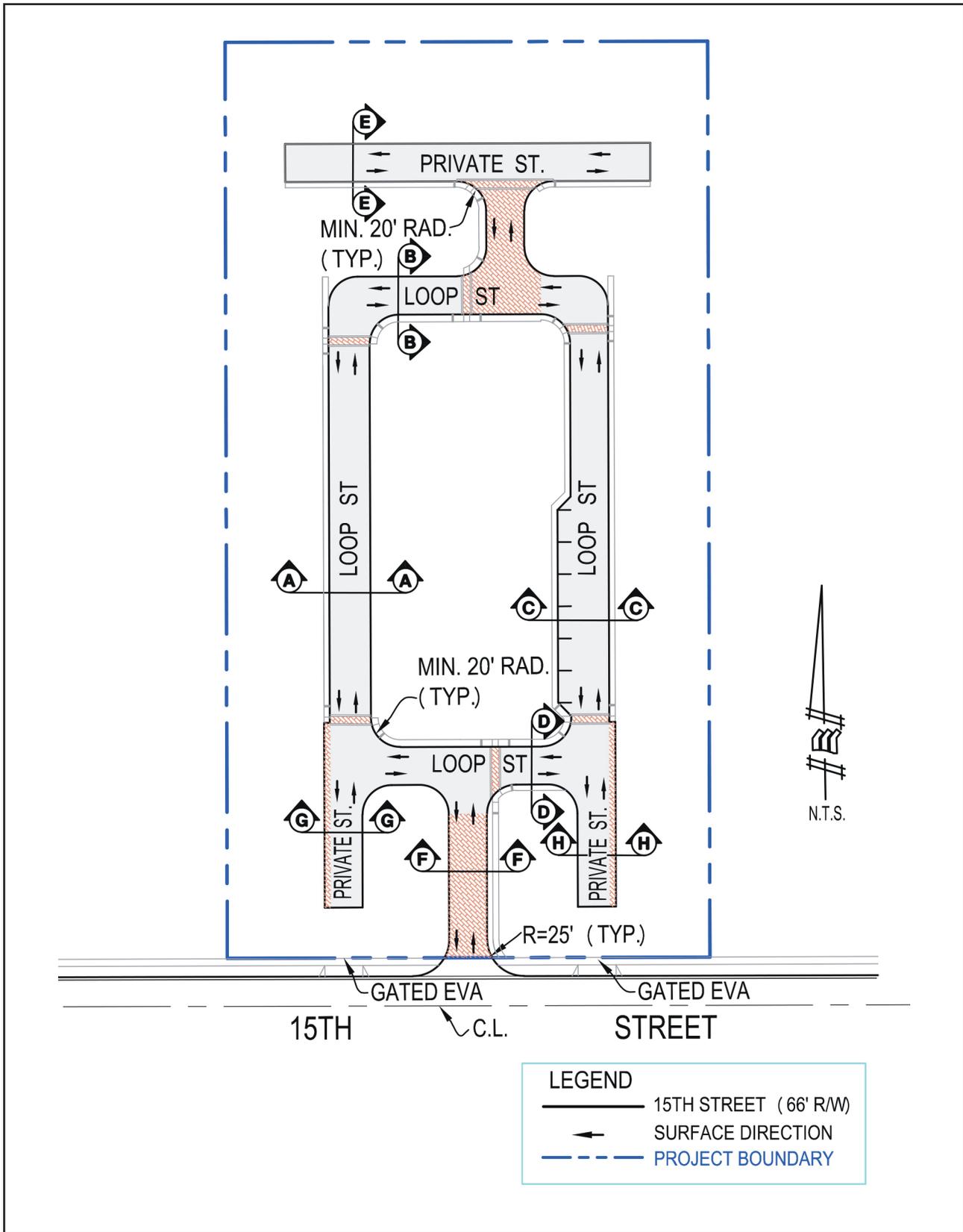


Exhibit 5
Master Plan of Circulation

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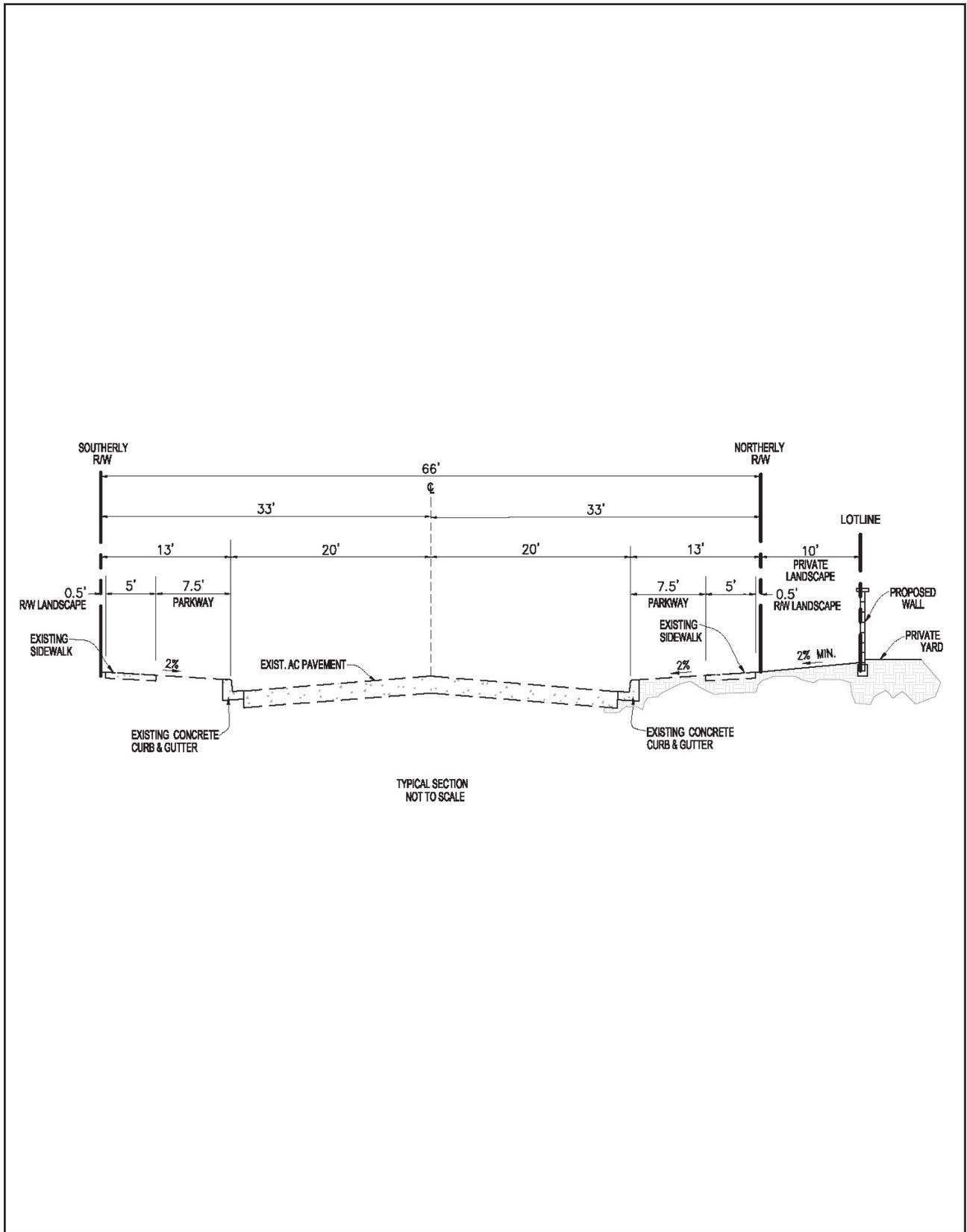


Exhibit 6
15th Street Cross Section

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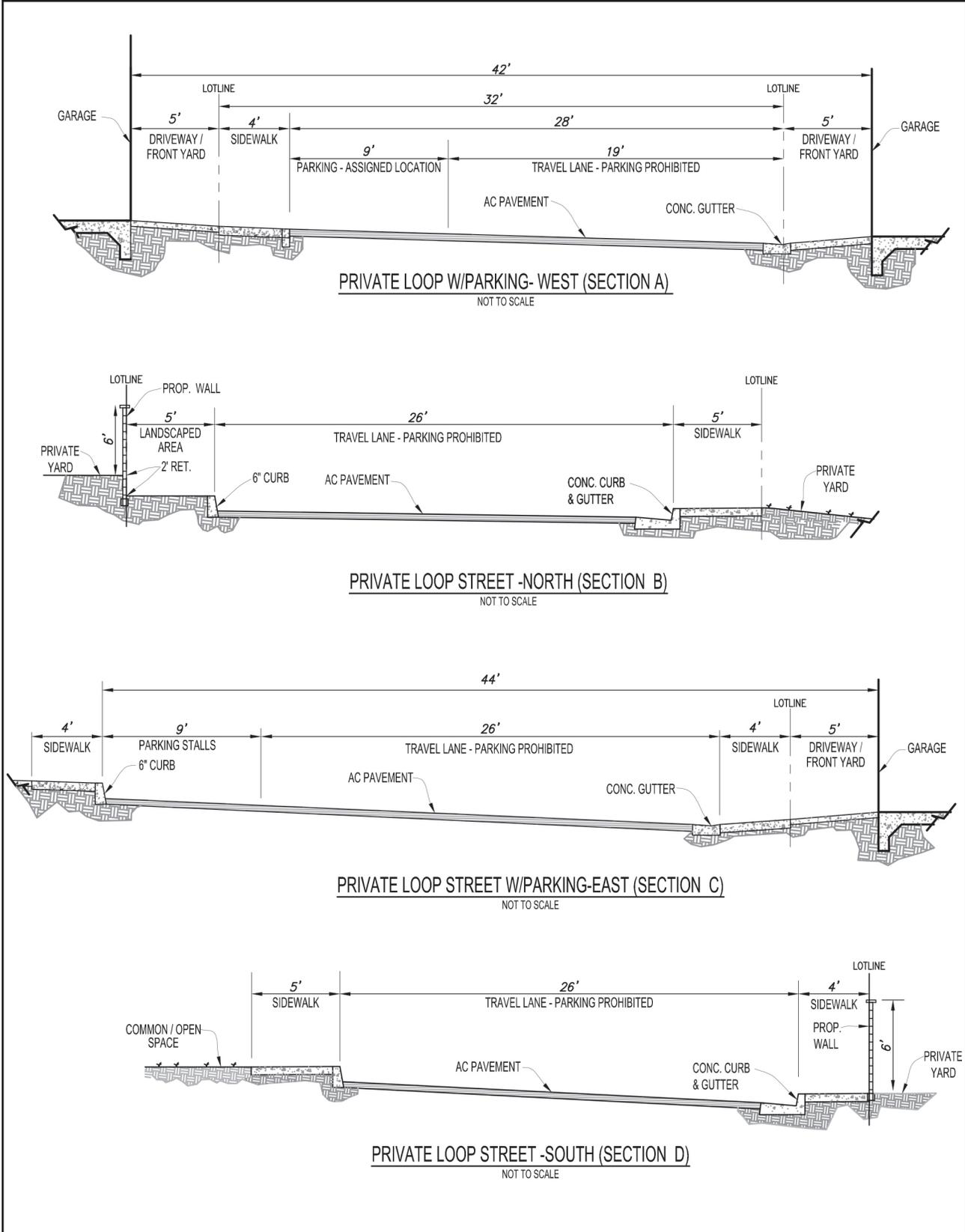


Exhibit 7
Private Street Cross Sections

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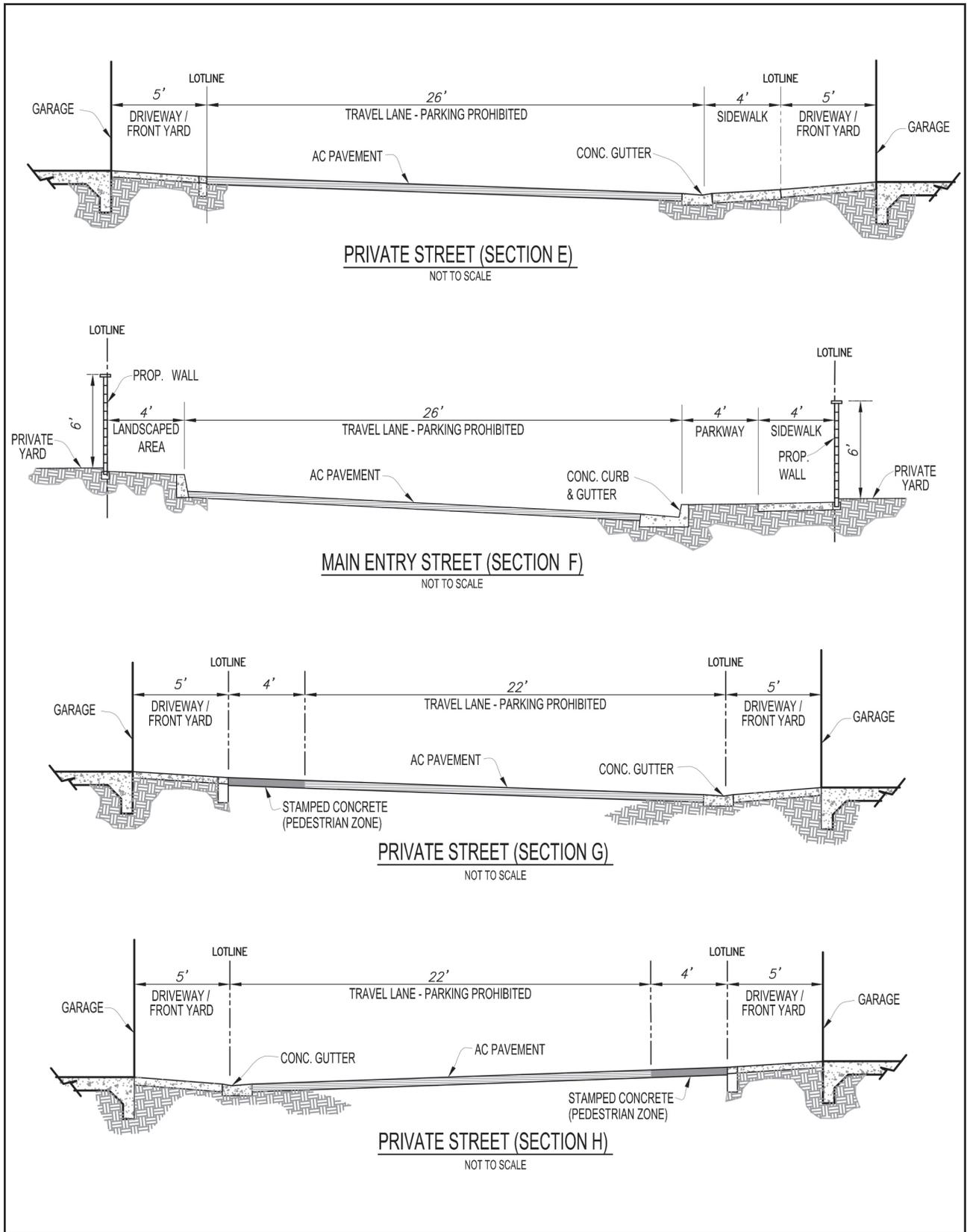


Exhibit 8
Private Street Cross Sections

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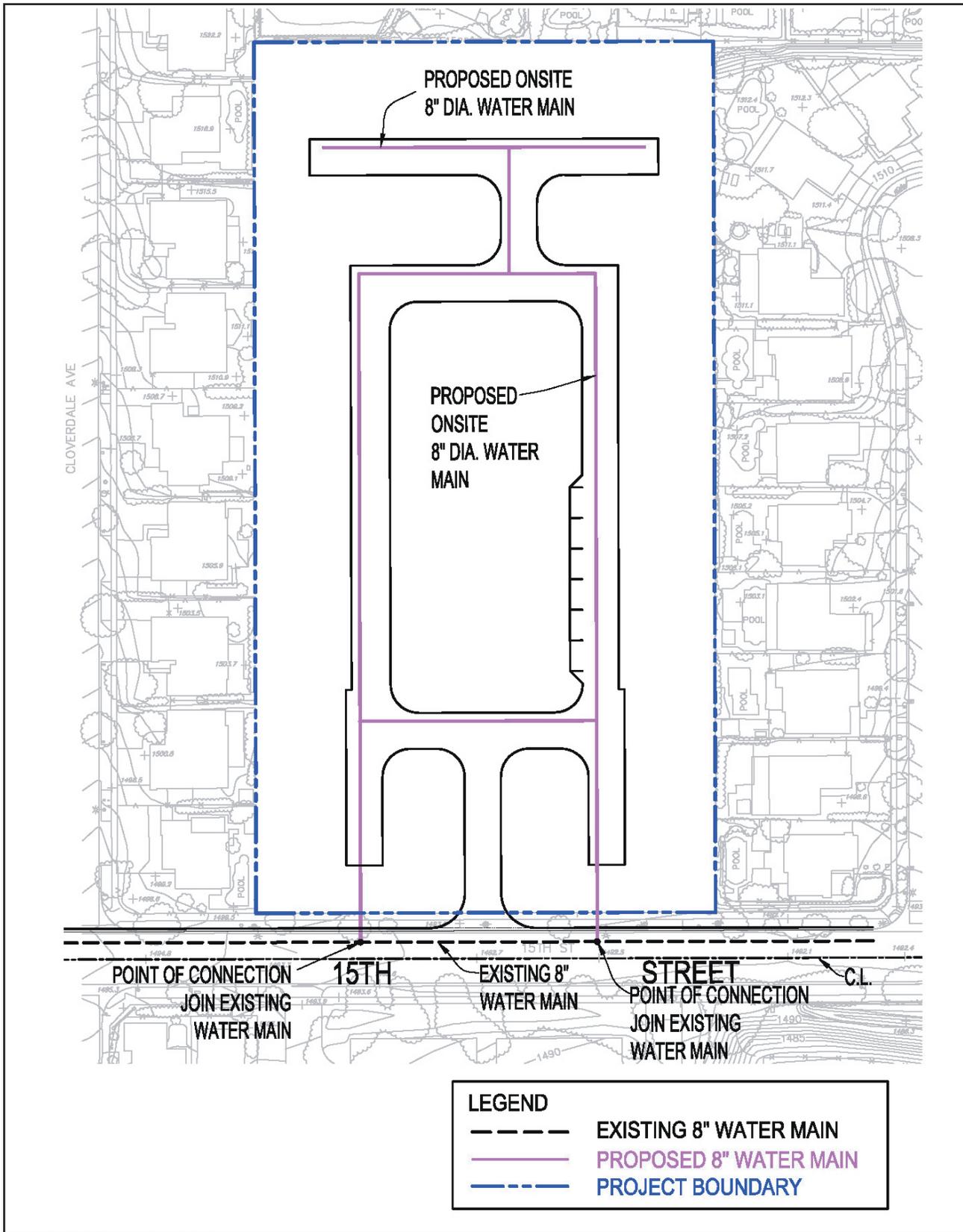


Exhibit 9
Water Master Plan

2.3.2 Sanitary Sewer

Sewer service to the Project Site is provided by the City of Upland. Existing off-site sewer facilities available to serve the Project Site include an existing 8 inch diameter sewer main located in 15th Street adjacent to the Project Site. Development of the Project Site includes construction of a network of 8 inch sewer mains on-site. Exhibit 10, “Sewer Master Plan,” illustrates the planned sewer system to serve the Project.

2.3.3 Storm Drain and Water Quality Management

The existing drainage pattern for the Project Site drains in a southerly direction towards 15th Street.

2.3.3.1 Drainage

The proposed drainage plan for the Project provides for sheetflow and gutterflow of runoff to enter 15th Street where it will be captured by an existing curb opening catch basin on the north side of the street. Runoff will then be routed via an existing reinforced concrete pipe (RCP) to an existing drainage swale on the south side of 15th Street in Greenbelt Park. Due to the reduction in impervious surfaces resulting from redevelopment of the Project Site overall flowrates exiting the site will be decreased from their existing levels.

2.3.3.2 Water Quality

The Project provides for stormwater retention and infiltration on the Project Site to mitigate an 85th percentile storm. A Torrent Resources Maxwell Plus Drainage system will be constructed within the parkway of the proposed Project Entry street. “First flush” flows will be captured by curb opening catch basins on either side of the street. The stormwater runoff and nuisance flows will then be routed into a primary settling chamber. This chamber removes debris, sediment, pollutants, oil, and grease before entering an adjacent injection well. The injection well will allow infiltrated flows through the bottom of the manhole shaft. When the well reaches capacity, a perforated overflow pipe will direct water into the underlying soil at depths up to 35 to 50 ft. Exhibit 11, “Storm Drain Master Plan,” illustrates the proposed storm drain and water quality management system to serve the Project Site.

SECTION 2. DEVELOPMENT PLAN

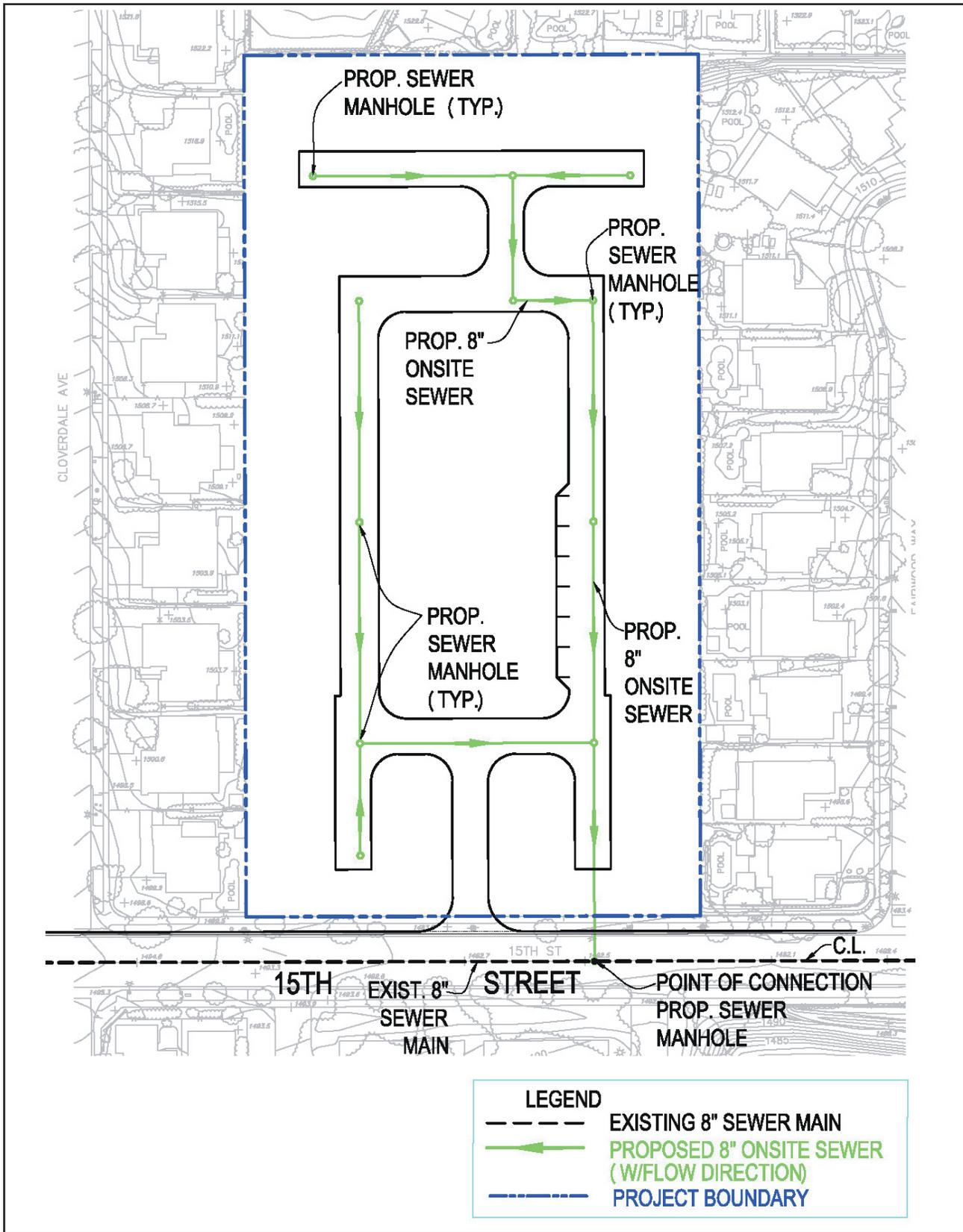


Exhibit 10

Sewer Master Plan

SECTION 2. DEVELOPMENT PLAN

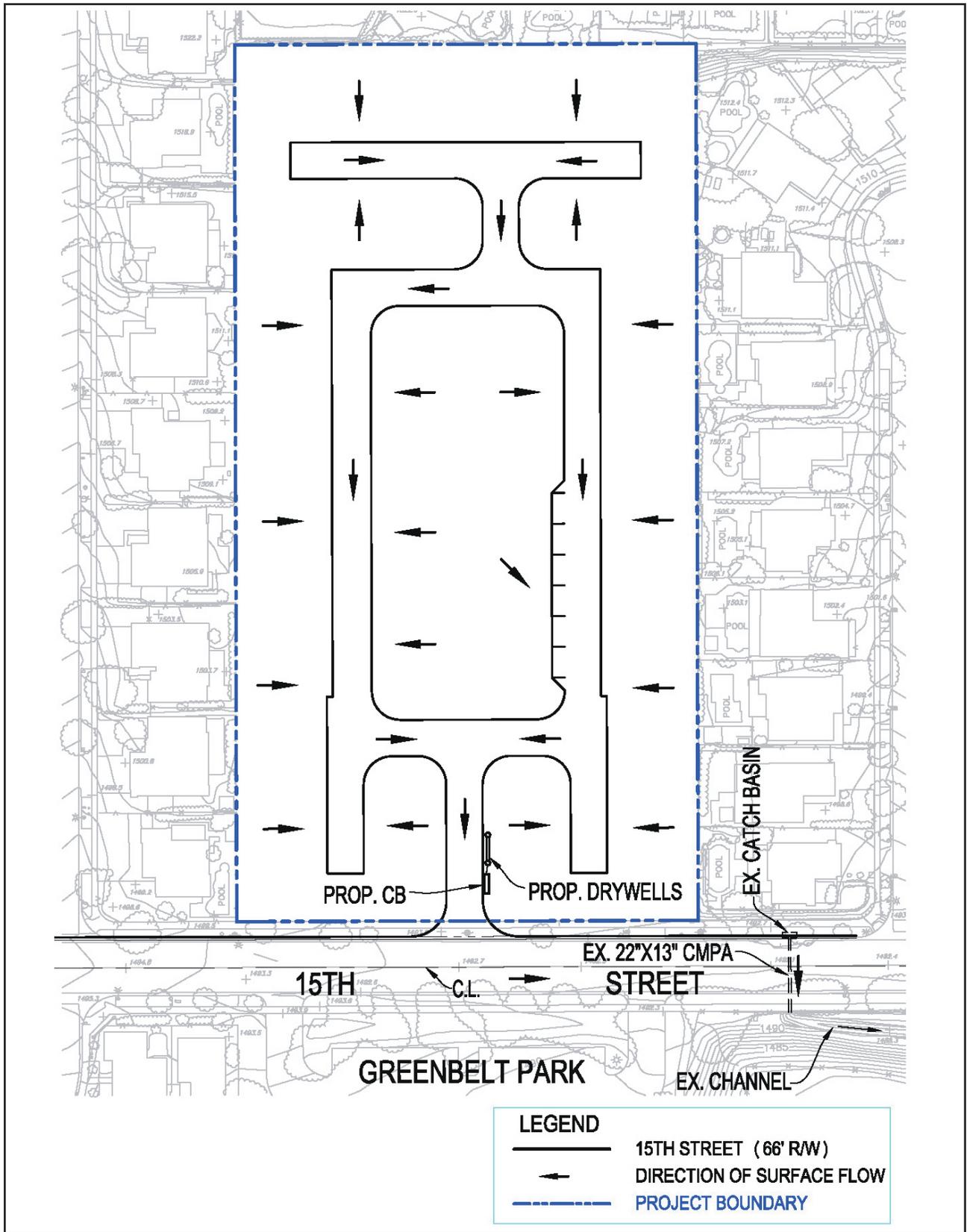


Exhibit 11
Storm Drain Master Plan

SECTION 2. DEVELOPMENT PLAN

2.4 Public Utilities

2.4.1 Telephone and Cable

Verizon will provide telephone service to the Project Site. Proposed on-site facilities will be placed underground.

2.4.2 Natural Gas

The Southern California Gas Company (Gas Company) will provide natural gas to the Project Site. Gas mains will be installed to the Project Site by the Gas Company as necessary.

2.4.3 Electricity

Southern California Edison will provide electricity to the Project Site from existing facilities in the vicinity of the Project Site. Proposed new facilities to serve the Project will be owned and operated by Southern California Edison and located underground.

2.4.4 Solid Waste

The City of Upland contracts with Burrtec Waste Industries (BWI), a private refuse hauler, to provide solid waste collection services for the City. Refuse service will be provided by BWI for the Project.

2.4.5 Schools

School facilities will be provided by the Upland Unified School District. The Project will be required to pay school fees in accordance with Government Code Section 65995 of the State of California.

2.5 Grading Concept

The existing ground slopes gradually in a southerly direction at an approximate 2.7 % grade. Existing site topography is illustrated in Exhibit 12, "Existing Topography." The grading operation for the Project Site will generally consist of demolition, clearing, grubbing, and moving of surface soils to construct streets, building pads, and driveways. Grading within the Project Site will attempt to balance cut/fills for the site.

Grading plans for the Project will be reviewed and approved by the City of Upland Land Development and Transportation Division of the Public Works Department prior to the issuance of grading permits. All grading plans and activities will conform to the City grading ordinance and dust and erosion control requirements. The conceptual grading plan for the Project Site is illustrated in Exhibit 13, "Conceptual Grading Plan" and in Exhibit 14, "Conceptual Grading Plan Cross Sections."

SECTION 2. DEVELOPMENT PLAN

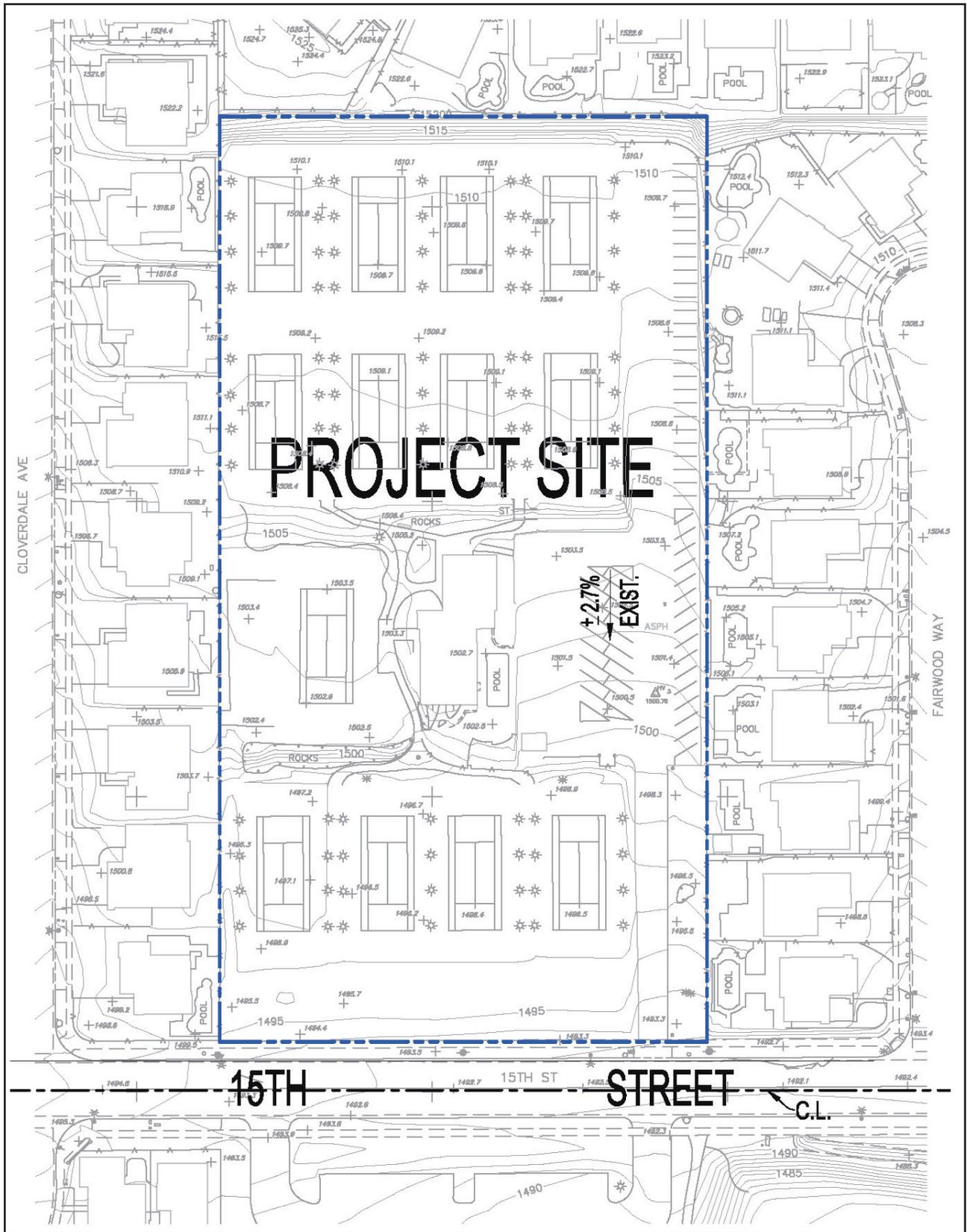


Exhibit 12
Existing Topography

SECTION 2. DEVELOPMENT PLAN

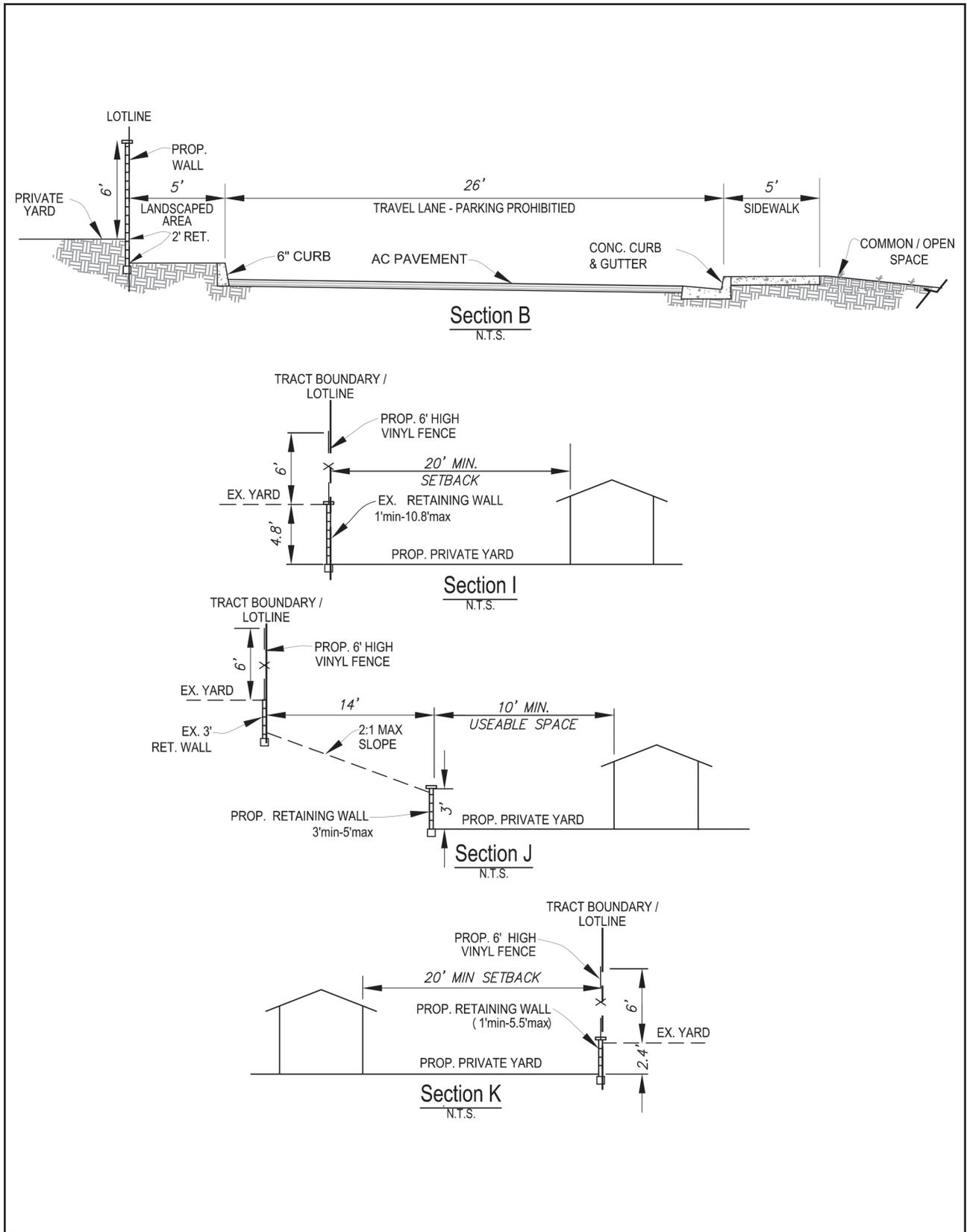


Exhibit 14
Conceptual Grading Plan Cross Sections

SECTION 2. DEVELOPMENT PLAN

2.6 Fire Safety

The Project will incorporate measures for fire safety to include construction of emergency vehicle access entries from 15th Street, new fire hydrants, and designation of restricted red curb areas as part of Project implementation. The plan for the provision of fire protection improvements is illustrated in Exhibit 15, “Fire Safety Plan.” Additional measures for provision of fire protection for the Project have been identified by the City’s Fire Department as required conditions of project implementation and are included as Appendix A, “Fire Safety Conditions of Approval,” of the Specific Plan.

SECTION 2. DEVELOPMENT PLAN

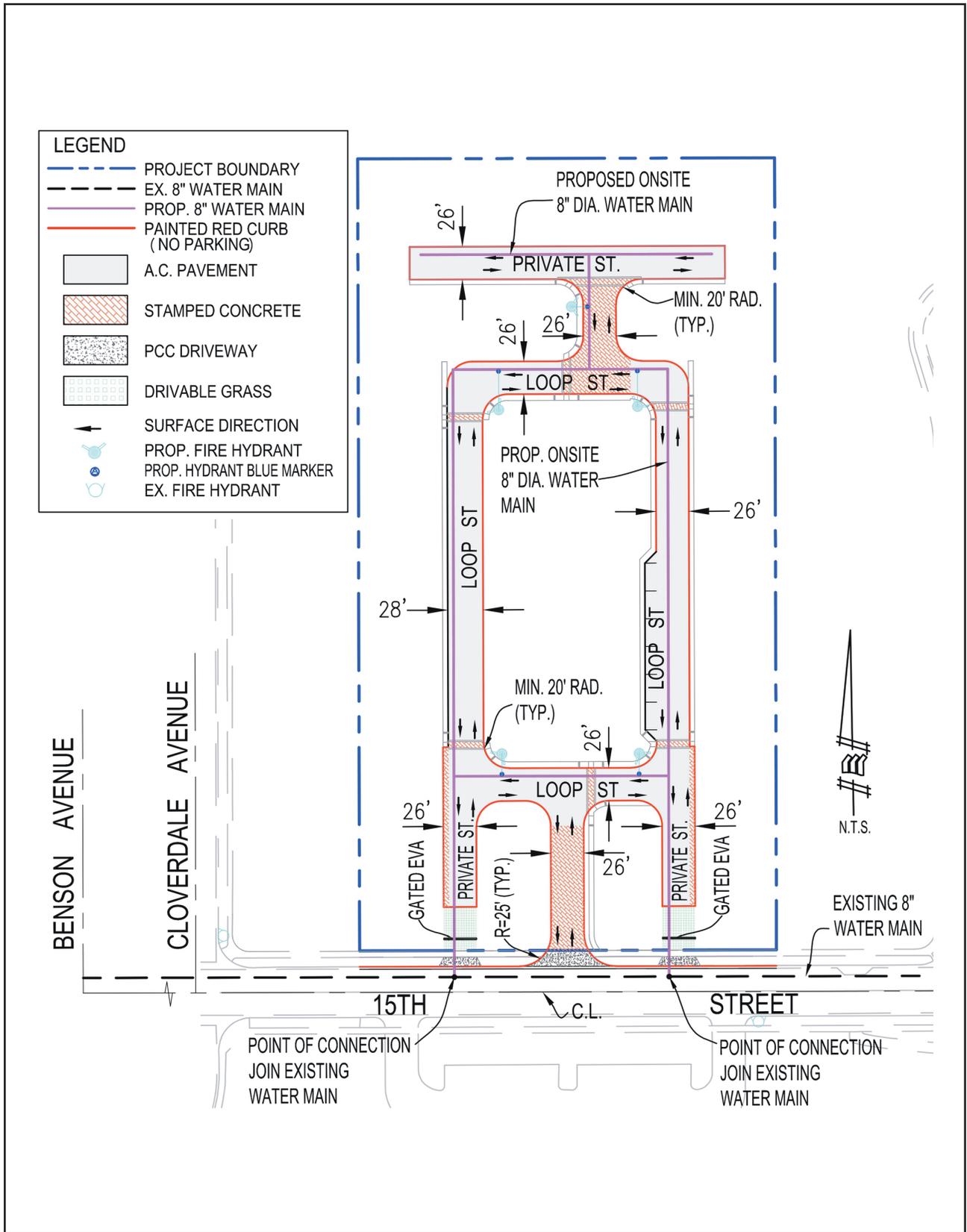


Exhibit 15

Fire Safety Plan

Section 3. Development Regulations

3.1 Introduction

The provisions contained herein shall regulate design and development within the Project Site. These regulations establish the minimum standards and requirements for development of residential uses, common area open space, landscaping, fences, walls, signage and lighting within the Project Site.

3.2 Definition of Terms

The meaning and construction of words, phrases, titles, and terms shall be the same as provided in Upland Municipal Code Title 17, “Planning and Zoning,” (Zoning Code) Chapter 7 (Definitions) unless otherwise specifically provided for herein.

3.3 Applicability

The Specific Plan serves to implement the City’s General Plan and establishes the zoning regulations for the Project Site. These Development Regulations address general requirements, permitted uses, and development standards for all development within the Project Site. Application of these Development Regulations is intended to encourage the most appropriate use of the land, ensure the highest quality of development, and protect the public health, safety, and general welfare. Whenever the provisions and development standards contained herein conflict with those contained in the Zoning Code, the provisions of the Specific Plan shall take precedence. Where the Specific Plan is silent, the Zoning Code shall apply. These Development Regulations shall reinforce specific site, architectural, and landscape design criteria contained in Section 4, “Design Criteria” of the Specific Plan. All architectural and landscape improvements shall comply with Section 4, “Design Criteria” of the Specific Plan.

3.4 General Site Development Standards

The following general site development standards shall apply to all development within the Project Site.

- a. Gross Acres – Except as otherwise indicated, gross acres for all development areas are measured to the centerline of streets.
- b. Maximum Number of Dwelling Units – A maximum of 39 residential dwelling units is permitted for development within the Project Site.
- c. Common Area Open Space – Common area open space shall be provided throughout the Project Site for recreational use by Project residents.
- d. Grading – Development within the Project Site shall utilize grading techniques as approved by the City of Upland. Grading concepts shall respond to the design criteria included in the Specific Plan which guide the development of land use toward the goal of providing for a livable community with streets designed for walking, biking and resident interaction.
- e. Building Modification – Residential building additions and/or alterations permitted by the Specific Plan shall match the architectural style of the primary dwelling unit and shall be constructed of the same materials, details, and colors as the primary dwelling unit.
- f. Utilities – All new and existing public utility distribution lines of 34.5 kV or less shall be subsurface throughout the project.

3.5 Green and Sustainable Development Standards

The following green and sustainable development standards shall apply to development within the Project Site.

SECTION 3. DEVELOPMENT REGULATIONS

- a. Technology – All homes shall be equipped with modern telecommunications technology for computer internet access, phone, fax, and television. Fiber optics cable shall be installed to all the properties if available from the utility provider.
- b. Energy Efficiency - All homes shall be constructed to meet or exceed the California Building Code Title 24 energy standard. Energy efficient design techniques include, but are not limited to, the following:
 - Increased insulation to minimize heat transfer and thermal bridging.
 - Roof orientations and design to accommodate homeowner installation of rooftop solar electric equipment.
 - Heating and cooling distribution systems that limit air leakage throughout the structure to minimize energy consumption.
 - Installation of ENERGY STAR or better rated windows, space heating and cooling equipment, light fixtures, appliances, and other applicable electrical equipment.
 - Installation of efficient lighting and lighting control systems and a building design which utilizes daylight as an integral part of the lighting system.
 - Installation of “cool roofs” and cool pavements.
 - Installation of solar light-emitting diodes (LEDs) for outdoor lighting or low level lighting.
- c. Builder-installed indoor appliances, including dishwashers, showers, and toilets, shall be low-water use in compliance with the adopted California Building Code.
- d. Solid Waste/Recycling - Development within the Project shall comply with City of Upland requirements for the provision and placement

of solid waste and recycling receptacles. The homeowners association for Spanish Trails shall provide educational information on recycling to all homeowners as part of the initial purchase of homes and again thereafter on an annual basis.

- e. During Project construction the developer of Spanish Trails shall use clean-burning diesel fuel, biodiesel fuel, and/or other alternative fuels for heavy construction equipment to reduce construction emissions. During Project construction, the developer shall use locally produced and/or manufactured building materials for at least 10 percent of the construction materials used, shall recycle or reuse at least 50 percent of the demolished and/or grubbed construction materials, and use “Green Building Materials,” such as those that are resource efficient and are recycled and manufactured for at least 10 percent of the Project.
- f. Drought-tolerant and/or native landscaping materials shall be used in all public and common areas to reduce water consumption.
- g. Smart Controller irrigation systems shall be installed in all public and common area landscaping.
- h. Landscape areas shall be designed on a “hydro zone” basis to group plants according to their water and sun requirements.

3.6 Permitted Uses and Structures

The following uses and structures are permitted “by right” within the Project Site subject to approval by the City of Development Plan Review pursuant to Zoning Code Section 17.44.030 (Development Plan Review). Any proposed use not specifically listed is not permitted unless the Development Services Director finds that the proposed use is equivalent to a listed permitted use and is permitted pursuant to the procedures

SECTION 3. DEVELOPMENT REGULATIONS

established in Zoning Code Section 17.02.020 (Authority) “Unlisted Land Uses.”

- a. Residential single family detached dwelling units and garages.
- b. Residential patios and patio covers.
- c. Public or private parks, recreational buildings, greenbelts, and/or common area open space.
- d. Small family child care/day care facilities (up to 8 children).
- e. Accessory uses to include the following and which conform to the provisions of Zoning Code Section 17.19.050 (Accessory Uses and Structures in Residential Zones).
 1. Home occupations pursuant to regulations established for Home Occupations in Zoning Code Table 17.04-1, “Permitted Land Uses in the Residential Zones.”
 2. Cottage Food Operations.
 3. Swimming pools, spas, sports courts, and other similar outdoor recreational amenities.
 4. Storage structures, garden structures, cabanas, and greenhouses.
- f. Model home and subdivision sales trailers, temporary construction parking, offices and facilities, real estate signs, signage indicating future development and directional signage pursuant to approval by the City of Development Plan Review per Zoning Code Section 17. 44.030 (Development Plan Review).

3.7 Residential Development Standards

Residential development areas are subject to the development standards contained in Table 3.1 “Residential Development Standards.”

SECTION 3. DEVELOPMENT REGULATIONS

Table 3.1

Residential Development Standards

SFD RESIDENTIAL USE	
Lot Criteria	
Min. Lot Width at Front PL for Standard Lot	51'
Min. Lot Width on Corner	53'
Min. Lot Depth	54'
Min. Lot Area (sq. ft.)	2,800 sf
MINIMUM SETBACKS ^{(1) (2)}	
Front Setback	
Living Area	5'
Street Facing Garage	5'
Side Setback	
From Interior PL	5'
From Back of Curb	10'
Rear Setback	
Main Structure	10' flat usable area
Lot Coverage	
Max. Coverage	60% ⁽⁵⁾
Maximum Building Height ⁽³⁾	
Main Structure	2 Stories - Max. 30'
Walls, Fences and Hedges	
Maximum Height at Interior or Rear Property Line except retaining walls ⁽⁴⁾	6'
Maximum Height of Interior Project and 15th Street Adjacent Retaining Walls	4'
Maximum Height of New Project Perimeter Retaining Walls/ North, West and East Project Boundary	8' ⁽⁶⁾
Parking	
Min. Number of Parking Spaces Required ⁽⁷⁾	2 per unit within a garage plus .25 spaces per unit open guest parking spaces.

Footnotes:

(1) Architectural projections and cantilevers may project a maximum of 2 feet into required front and side setback areas and 3 feet into required rear setback areas measured from the foundation to the roof plate; however, in no case shall such projection be closer than 3 feet to any property line. An architectural projection is defined as an element that articulates the building elevation such as eaves, window and door pop-out surrounds, media niches, bay windows, pot shelves, chimneys, enhanced window sills, shutter details, window trim, balconies and entry gates, and other similar elements.

(2) All setbacks measured from PL unless noted otherwise.

(3) Architectural projections may exceed the maximum building height by an additional 5 feet.

(4) Refer to Section 3.10.2 (Fence and Wall Standards).

(5) A maximum of 5% deviation over the maximum allowable lot coverage is permitted for up to 8% of the total number of lots.

(6) A maximum of 5% of the length of any retaining perimeter wall may be a maximum height of 11 feet.

(7) All enclosed parking spaces shall be within a garage with a minimum clear dimension of 20' x 20' for two spaces and 10' x 20' for single or tandem spaces. All open on street guest parking spaces shall be a minimum dimension of 9' x 19'.

SECTION 3. DEVELOPMENT REGULATIONS

3.8 Temporary Uses

Temporary uses shall be permitted pursuant to Zoning Code Chapter 17.41, “Temporary Use Permits and Film Permits.”

3.9 Common Area Open Space Development Standards

- a. Common area open space shall be improved with recreational facilities to serve all age groups of residents of the Project. The following minimum improvements shall be constructed as part of any common area open space of 10,000 or more square feet:
 1. Courts such as a basketball court.
 2. Park furniture including benches and trellises.
 3. Trash receptacles.
 4. Barbecue area(s) provided with picnic tables and barbecue grills.
 5. Exercise area.
 6. Children’s play area.
- b. Common area open space improvements shall be approved by the City as part of Development Plan Review.

3.10 Landscaping, Fencing, and Walls

All landscape and irrigation plans for streetscapes and common area open space including graphic designs with regard to the identity of the Specific Plan, neighborhood identity, or entry monuments shall conform to the regulations as set forth herein and shall be subject to review and approval by the City at the time of Development Plan Review. The form and content of landscape plans for streets, common area open space, and other common areas shall conform to the requirements of the City’s Development Plan Review application requirements.

3.10.1 Landscape and Irrigation Standards

- a. All landscaping within the Project shall comply with the provisions of Section 4, “Design Criteria” of this Specific Plan utilizing plant materials specified on the “Suggested Plant List” established for the Specific Plan.
- b. Landscape streetscape improvements for streets within the Project shall conform to the landscape treatment described for these streets within Section 4 “Design Criteria” of this Specific Plan.
- c. The design and improvement of all common area landscaping, including landscape and irrigation plans, shall be reviewed and approved by the City at the time of Development Plan Review and shall conform with the requirements of Section 4 “Design Criteria” of this Specific Plan.
- d. Installation of landscaping and automatic irrigation within the front yards of all residential areas shall be provided by the home builder and maintained in a healthy condition at all times. At a minimum, the builder shall install groundcover and appropriate shrubs and trees in the front yards of homes within residential areas. A minimum of one 24 inch box shade tree shall be installed within each residential front yard. A variety of landscape designs shall be provided by the homebuilder to the homeowner. All landscape plans shall be reviewed and approved by the City at the time of Development Plan Review.
- e. No more than 50% of a front or side yard of a residential lot shall be dedicated to driveways, hardscape and walkways.
- f. All manufactured and cut/fill slopes exceeding three (3) feet in height shall be planted with an effective mixture of ground cover, shrubs, and trees installed by the developer. Such slopes shall also be irrigated as necessary to comply with any requirements established by

SECTION 3. DEVELOPMENT REGULATIONS

the City.

- g. Boundary landscaping shall be required adjacent to the Project Site along the perimeter of 15th Street. Landscaping shall generally be placed along the perimeter property line adjacent to 15th Street in accordance with the landscape design illustrated in Section 4, “Design Criteria,” of the Specific Plan.
- h. Landscaping and automatic irrigation systems within the public rights-of-way and private common areas of the Project shall be installed by the developer.

3.10.2 Fence and Wall Standards

- a. Freestanding, decorative perimeter walls and view open fencing shall be provided within and at the perimeter of the Project Site as specified in the “Wall and Fence Master Plan” pursuant to Section 4, “Design Criteria,” of the Specific Plan. Such walls and fences shall be constructed concurrently with the construction of improvements required for development of the Project.
- b. Perimeter walls and fencing shall be constructed consistent with the “Wall and Fence Details” pursuant to Section 4, “Design Criteria,” of the Specific Plan. Perimeter walls shall not exceed six feet in height from highest finished grade. Perimeter retaining walls along the north, east, and west Project boundaries shall not exceed eight feet in height except that five percent (5%) of the length of any perimeter retaining wall may be a maximum height of eleven feet from highest finished grade. Retaining walls on the 15th Street perimeter shall not exceed four feet in height. If required for sound attenuation, perimeter walls may exceed six feet in height from highest finished grade, subject to the recommendations of an acoustical study as approved by the Director of Development Services.
- c. Individual residential side and rear yard walls

and fencing shall not exceed six feet in height from highest adjacent finished grade. Interior retaining walls in public view shall not exceed four feet in height from highest adjacent finished grade. Side and rear walls may exceed six feet in height from adjacent finished grade if required by the City for sound attenuation pursuant to the recommendations of an Acoustical Report and as approved by the Director of Development Services. All side and rear yard fences and walls shall be constructed consistent with the “Wall and Fence Details” pursuant to Section 4, “Design Criteria,” of the Specific Plan.

- d. All perimeter wall and fence materials throughout the Project shall be of uniform manufacture with colors specified for the overall design theme as provided for in Section 4 “Design Criteria,” of this Specific Plan.

3.11 Signage

A Master Sign Program shall be submitted by the developer of the Project and approved by the City subject to approval of Development Plan Review pursuant to Zoning Code Section 17.44.030 (Development Plan Review). The Master Sign Program shall address residential project entries, residential neighborhood identification signs, and way finding signs within the project. No project signs shall be permitted in the public right-of-way.

3.11.1 Master Sign Program Contents

The sign program shall address, at a minimum, the following:

- a. Permitted signs.
- b. Prohibited signs.
- c. The hierarchy of signage.
- d. Definition of types of signs.

SECTION 3. DEVELOPMENT REGULATIONS

- e. Locations and dimensions for monument signs and public facilities signs.
- f. Locations and dimensions of directional signage.
- g. Provisions for size, location, and duration of display of temporary signs.
- h. Permitted sign types, styles, construction materials, colors, and lettering styles.
- i. Requirements for a sign permit application.
- j. Procedures for obtaining approval of a sign permit.
- k. Procedures for amending the sign program.

3.12 Lighting

3.12.1 General Requirements

Project Site lighting shall be installed in accordance with the following standards.

- a. No light glare incidental to any use shall be visible beyond any boundary line of the Project Site.
- b. Residential fixtures shall be uniform and unobtrusive. Shielded fixtures are required to prevent up lighting and to shield lighting source from adjacent residential areas.

3.12.2 Public Street Lights

Public streetlights installed along 15th Street as part of the Project shall be high-pressure sodium vapor. Design of fixtures shall be approved by the City as part of Development Plan Review.

3.12.3 Private Street Lighting Fixtures

- a. Private street lighting shall conform to the City's requirements for street lighting.
- b. Private street lighting fixtures shall be on sensors for automatic nighttime lighting. Style and specifications for all street lights shall be approved by the City as part of Development Plan Review.

- c. Street lighting within the Project Site shall comply with City specifications.
- d. Private street lights shall include shielding devices for "dark sky" purposes and shall direct or reflect light downward.

3.12.4 Common Area Open Space Lighting

- a. Lighting within common area open space shall be approved by the City as part of the City's Development Plan Review of these facilities.
- b. Bollard lighting is recommended along walkways within the common area open space.
- c. Light fixtures shall include shielding devices for "dark sky" purposes and shall direct or reflect light downward.

Section 4. Design Criteria

4.1 Purpose and Intent

The Spanish Trails Design Criteria establish architectural and landscape design principles and requirements for the Specific Plan. These design criteria will provide the foundation for the design and construction of an aesthetically unified residential development while also responding to the existing surrounding area.

Design Guideline Objectives:

- To provide the City of Upland with the necessary assurances that the Spanish Trails community will be developed in accordance with the quality and character proposed in this Specific Plan;
- To provide design criteria to developers, builders, engineers, architects, landscape architects and other professionals to ensure the desired design quality is achieved; and
- To provide development criteria to guide development of the Project as an attractive and distinctive community which responds to the character and design fabric of the surrounding existing residential community.

4.2 Landscape Design

Careful consideration has been given to the design of the community landscape for Spanish Trails. The following design criteria are organized to help define the basic landscape design principles for the Project. Conformance with this criteria will help to assure a vision and integrity of design for the Project resulting in a distinctive community image and sense of place for residents. All landscape plans, streetscape plans, and graphic designs with regard to community identity, neighborhood identity, or entry monumentation shall conform to the criteria set forth herein.

The intent of the landscaping design criteria for Spanish Trails is to control the appearance of the development with respect to scale, proportion, height, materials and colors while still encouraging variety and innovation. The landscape concept for Spanish Trails is illustrated on Exhibit 16, “Conceptual Landscape Plan.”

4.2.1 Landscape Elements

Landscape design encompasses “hardscape” elements such as entry monuments, signage, walls, fences, gates, paving, recreation and picnic equipment, as well as “softscape” elements such as trees, shrubs, vines and ground cover. All landscape elements should be compatible with the scale of the adjacent architecture and the surrounding space. Water conservation and long term maintenance should be kept in mind when selecting specific plant material. Hydrozoning (grouping plants with similar water requirements) is encouraged. Table 4.1, “Suggested Plant List” provides planting guidelines for both common and private areas. Compliance with the City’s water efficient landscape ordinance is required. The following guidelines address the design of specific landscape elements within Spanish Trails.

SECTION 4. DESIGN CRITERIA



Exhibit 16
Conceptual Landscape Plan

SECTION 4. DESIGN CRITERIA

Table 4.1

Suggested Plant List

BOTANICAL NAME	COMMON NAME	WATER REQUIREMENTS
TREES		
<i>Agonis flexuosa</i>	Peppermint Tree	M
<i>Albizia julibrissin</i>	Silk Tree	M
<i>Arbutus marina</i>	Strawberry Tree	L
<i>Brachychiton populneus</i>	Bottle Tree	L
<i>Callistemon viminalis</i>	Weeping Bottlebrush	M
<i>Cedrus deodara</i>	Deodar Cedar	M
<i>Ceratonia siliqua</i>	St. John's Bread, Carob Tree	L
<i>Cercis occidentalis</i>	Western Redbud	L
<i>Cinnamomum camphora</i>	Camphor Tree	M
<i>Cupaniopsis anacardioides</i>	Carrot Wood	M
<i>Eriobotrya deflexa</i>	Bronze Loquat	M
<i>Fraxinus greggii</i>	Little Leaf Ash	M
<i>Fraxinus</i> O. 'Raywood'	Raywood Ash	M
<i>Fraxinus velutina</i>	Arizona Ash	M
<i>Geijera parviflora</i>	Australian Willow	M
<i>Koelreuteria bipinatta</i>	Chinese Flame Tree	M
<i>Koelreuteria paniculata</i>	Golden Rain Tree	L
<i>Lagerstroemia indica</i>	Crape Myrtle	M
<i>Laurus nobilis</i> 'Saratoga'	Sweet Bay	L
<i>Liquidambar styraciflua</i> (seedless var.)	Sweet Gum	M
<i>Melaleuca quinquinervia</i> (M. vir. <i>Rubifolia</i>)	Cajeput Tree	M
<i>Olea europaea</i> 'Swan Hill'	Fruitless Olive	L
<i>Pinus eldaeica</i>	Pinyon Pine	L
<i>Pistacia chinensis</i>	Chinese Pistache	M
<i>Platanus acerifolia</i>	London Plane Tree	M
<i>Platanus racemosa</i>	California Sycamore	M
<i>Podocarpus gracilior</i> (<i>Afrocarpus gracilior</i>)	Fern Pine	M
<i>Podocarpus henkelii</i>	Long Leafed Yellow Wood	M
<i>Prunus caroliniana</i>	Carolina Laurel Cherry	M
<i>Prunus cerasifera</i>	Purple Leaf Plumb	M
<i>Prunus ilicifolia</i>	Hollyleaf Cherry	VL
<i>Prunus ilicifolia</i> <i>lyonii</i>	Catalina Cherry	L

SECTION 4. DESIGN CRITERIA

Table 4.1

Suggested Plant List (cont.)

Quercus agrifolia	Coast Live Oak	L
Quercus ilex	Holly Oak	L
Raphiolepis indica 'Majestic Beauty'	Majestic Beauty Hawthorn	M
Rhus lancea	African Sumac	L
Sdhinus molle	California Pepper Tree	L
Tristania conferta (Lophostemon conferta)	Brisbane Box	M
Ulmus parvifolia	Chinese Elm	M
SHRUBS		
Abelia grandiflora	Glossy Abelia	M
Acanthus mollis	Grecian Urn Plant	M
Artemisia californica	California Sagebrush	L
Baccharis pilularis	Coyote Brush	L
Bougainvillea spp.	Bougainvillea	L
Buddleia marrubiifolia	Wolly Butterfly Bush	L
Caesalpinia gilliesii	Desert Bird of Paradise	L
Calliandra californica	Baja Fairy Duster	L
Calliandra inaequilatera	Red/Pink Powder Puff	M
Carissa macrocarpa	Natal Plum	M
Ceanothus spp.	California Wild Lilac	L
Dalea bicolor	Dalea	L
Dodonaea viscosa	Hopbush	M
Echium fastuosum	Pride of Madeira	L
Elaeagnus pungens	Suilverberry	L
Escallonia species	Escallonia	M
Euonymus japonicus spp.	Euonymous	L
Euryops pectinatus	Shrub Daisy	L
Feijoa sellowiana (Acca sellowiana)	Pineapple Guava	M
Hebe 'Veronica Lake'	Veronica Lake Hebe	M
Heteromeles arbutifolia	Toyon	L
Heuchera sanguinea	Cora Bells	M
Ilex cornuta 'Burfordii'	Burford Holly	M
Lantana montevidensis (gold cultivars)	Trailing Lantana	L
Lavandula species	Lavender	L

SECTION 4. DESIGN CRITERIA

Table 4.1

Suggested Plant List (cont.)

Mahonia species	Oregon Grape	M
Melaleuca nesophila	Pink Melaleuca	L
Myrica californica	Pacific Wax Myrtle	M
Nandina domestica species	Heavenly Bamboo	M
Photinia x fraseri	Fraser's Photinia	M
Pittosporum tobira and hybrids	Tobira/Japanese Mock Orange	M
Plumbago auriculata (campense)	Cape Plumbago	M
Prunus caroliniana	Laurel Cherry	M
Pyracantha species	Firethorn	M
Rhaphiolepis indica	Indian Hawthorn	M
Rhus integrifolia	Lemonade Berry	L
Rhus laurina	Laurel Sumac	L
Rhus ovata	Sugar Bush	L
Ribes aureum	Golden Currant	L
Ribes sanguineum	Red Flowering Currant	M
Rosa banksiae	Lady Bank's Rose	M
Rosa californica	California Wild Rose	L
Rosmarinus officinalis 'Tuscan Blue'	Tuscan Blue Rosemary	L
Salvia clevelandii & hybrids	Salvia	L
Salvia greggii & hybrids	Sutum Sage	L
Salvia leucantha	Mexican Bush Sage	L
Salvia leucophylla	Purple Sage	L
Solanum rantonnetii (Lycianthus rant.)	Blue Potato Bush	M
Westringia longifolia	Coast Rosemary	L
ACCENTS/GRASSES		
Agapanthus species	Lily of the Nile	M
Carex species (non-native)	Sedge	M
Carex species (native)	Sedge	M
Dietes bicolor	Fortnight Lily	M
Dietes iridioides (vegeta)	African Iris	M
Dudleya lanceolata	Live Forever	L
Hemerocallis hybrids	Day Lily	M
Iris douglasiana	Douglas Iris	M

SECTION 4. DESIGN CRITERIA

Table 4.1

Suggested Plant List (cont.)

Kniphofia uvaria	Red Hot Poker	L
Liriope gigantea	Giant Lilyturf	M
Liriope muscari	Big Blue Lilyturf	M
Muhlenbergia lindhimeri	Muhly Grass	M
Muhlenbergia rigens	Deer Grass	M
Phormium tenax	New Zealand Flax	M
Sedum species	Various Sedum	L
Senecio cineraria	Dusty Miller	L
Tulbaghia violacea	Society Garlic	M
GROUNDCOVER		
Acacia redolens 'Desert Carpet'	Trailing Acacia	L
Aptenia 'Red Apple'	Red Apple	L
Arctostaphylos 'Emerald Carpet'	Emerald Carpet Manzanita	L
Baccharis 'Centennial'	Centennial Baccharis	L
Ceanothus griseus var. horizontalis	Carmel Ceanothus	L
Cotoneaster (compact varieties)	Cotoneaster	M
Dalea greggii	Trailing Indigo Bush	L
Lonicera japonica 'Halliana'	Hall's Japanese Honeysuckle	L
Mahonia repens	Creeping Mahonia	M
Myoporum parvifolium	Prostrate Myoporum	L
Osteospermum fruticosum	Trailing African Daisy	L
Rosmarinus officinalis 'Prostratus'	Prostrate Rosemary	L
Trachelospermum jasminoides	Star jasmine	M
Verbena species	Verbena	L
VINES		
Distictis buccinatoria	Blood Red Trumpet Vine	M
Ficus pumila	Creeping Fig	M
Lonicera japonica	Japanese Honeysuckle	L
Macfadyena unguis-cati	Cat's Claw Vine	L
Parthenocissus tricuspidata	Boston Ivy	M
Rosa banksiae	Lady Bank's Rose	M

SECTION 4. DESIGN CRITERIA

4.2.3 Community Entry

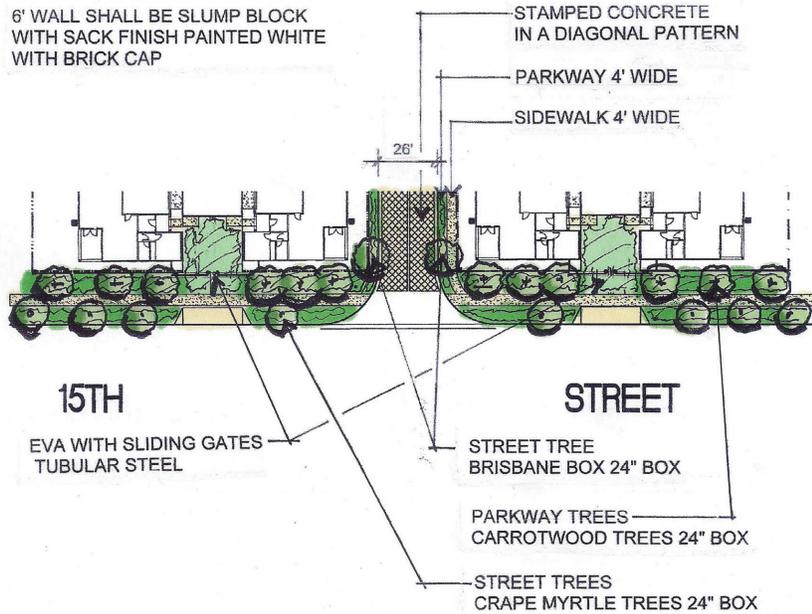
The Community Entry to Spanish Trails establishes the design theme for the Project through a blend of hardscape and planting elements that form the first impression to visitors and residents entering the community. Entry lighting shall avoid intensely bright lighting of monuments. Entry monuments should be lit to provide a soft wash of light across the monument signage. Specimen trees should be up-lit with several fixtures into the canopy to avoid creating dark sides of the trees. Gated emergency vehicle access driveways provided along either side of the Community Entry should be paved with turf block to provide a softened appearance while providing a hard surface for vehicle use. The Community Entry shall include the following:

- A 6 foot high perimeter wall adjacent to 15th Street with architectural detailing including brick caps, trim, and bases.
- Freestanding monument walls at each side of the Project entry with architectural detailing to match the perimeter walls and with identification field for sign placement as illustrated in Exhibit 32, “Sign Concepts.”
- Use of “real” veneer materials instead faux concrete veneers.
- Use of large specimen canopy trees to anchor each side of entry drive as illustrated on Exhibit 17, “Community Entry.”
- Enhanced paving at entry drive.
- Parkway trees within the 15th Street right of way adjacent to the Project Site.

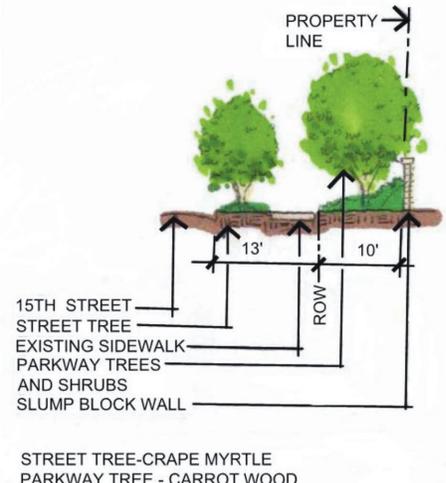
- A variety of accent trees and shrub masses planted in a series of layers (foreground, mid ground, background at the Project Entry, and along 15th Street adjacent to the Project Site) to help define borders and plant groupings while combining interesting foliage textures and color.
- Accent lighting for landscape and monumentation.

The Community Entry for Spanish Trails is illustrated on Exhibit 17, “Community Entry.”

SECTION 4. DESIGN CRITERIA

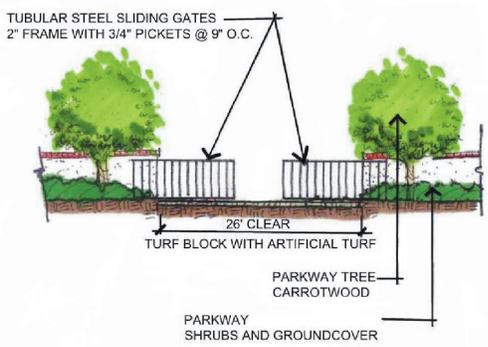


ENTRY PLAN VIEW

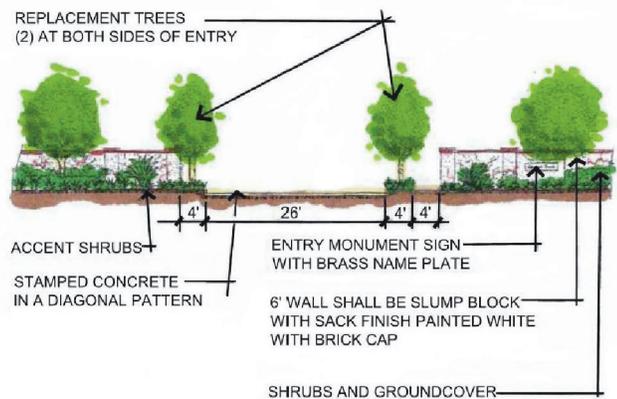


STREET TREE-CRAPE MYRTLE
PARKWAY TREE - CARROT WOOD

ENTRY SECTION



EVA ELEVATION



ENTRY ELEVATION

Exhibit 17
Community Entry

4.2.4 Interior Streetscapes

Streetscape design within the interior of the Spanish Trails community shall be consistent in character and should help to promote pedestrian circulation within the community. The streetscapes of Spanish Trails provide a clear delineation between pedestrian and vehicular travel areas. Shrubs, low groundcovers, and "California Friendly" ornamental grasses are used to the greatest extent possible to reduce maintenance and conserve resources. The planting plan for streets includes informal plantings of trees, shrubs, groundcovers, and grasses. Uniformed spacing of trees is avoided in order to create an interesting and inviting pedestrian experience while also offering visual interest to motorists encouraging them to slow driving speeds and observe their surroundings. The following design criteria apply to streetscape design for Spanish Trails:

- Landscape treatments of each street shall be consistent throughout the length of the street in the neighborhood.
- Landscape treatments shall generally utilize street trees planted at intervals of 50 feet on center as feasible. Street trees shall be placed a minimum of eight feet from street light standards.
- Street tree planting as described below shall generally utilize one or two primary species for each street with a limited number of additional species to be used as accent planting.
- Low spreading groundcover or turf in the parkway strips adjacent to walkways should be planted and shall be consistent along the entire length of the street.

The streetscape plan for interior streets within Spanish Trails is illustrated on Exhibit 18, "Streetscape Key Map," and Exhibits 19-24, "Streetscape Sections."

SECTION 4. DESIGN CRITERIA

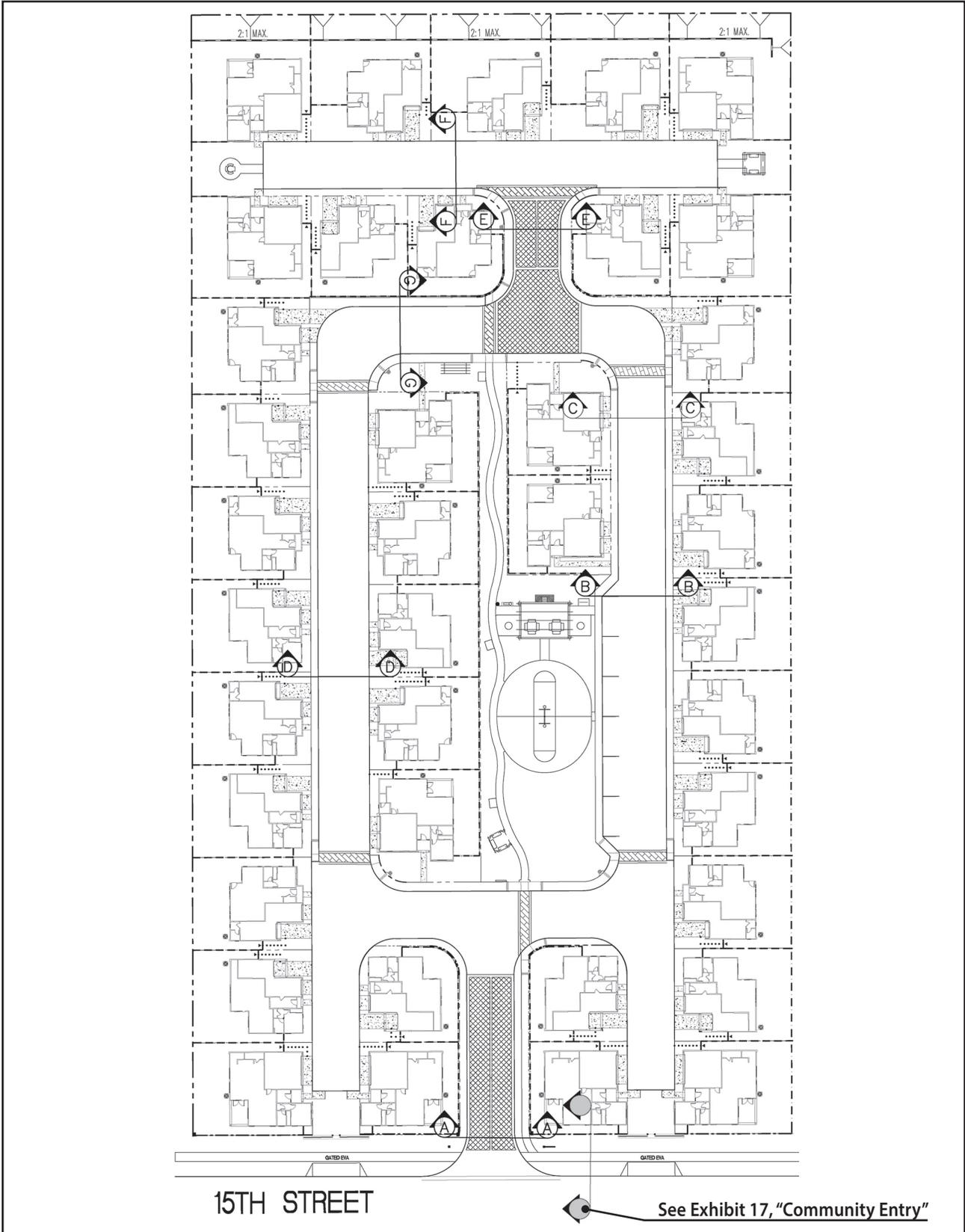


Exhibit 18
Streetscape Key Map

SECTION 4. DESIGN CRITERIA

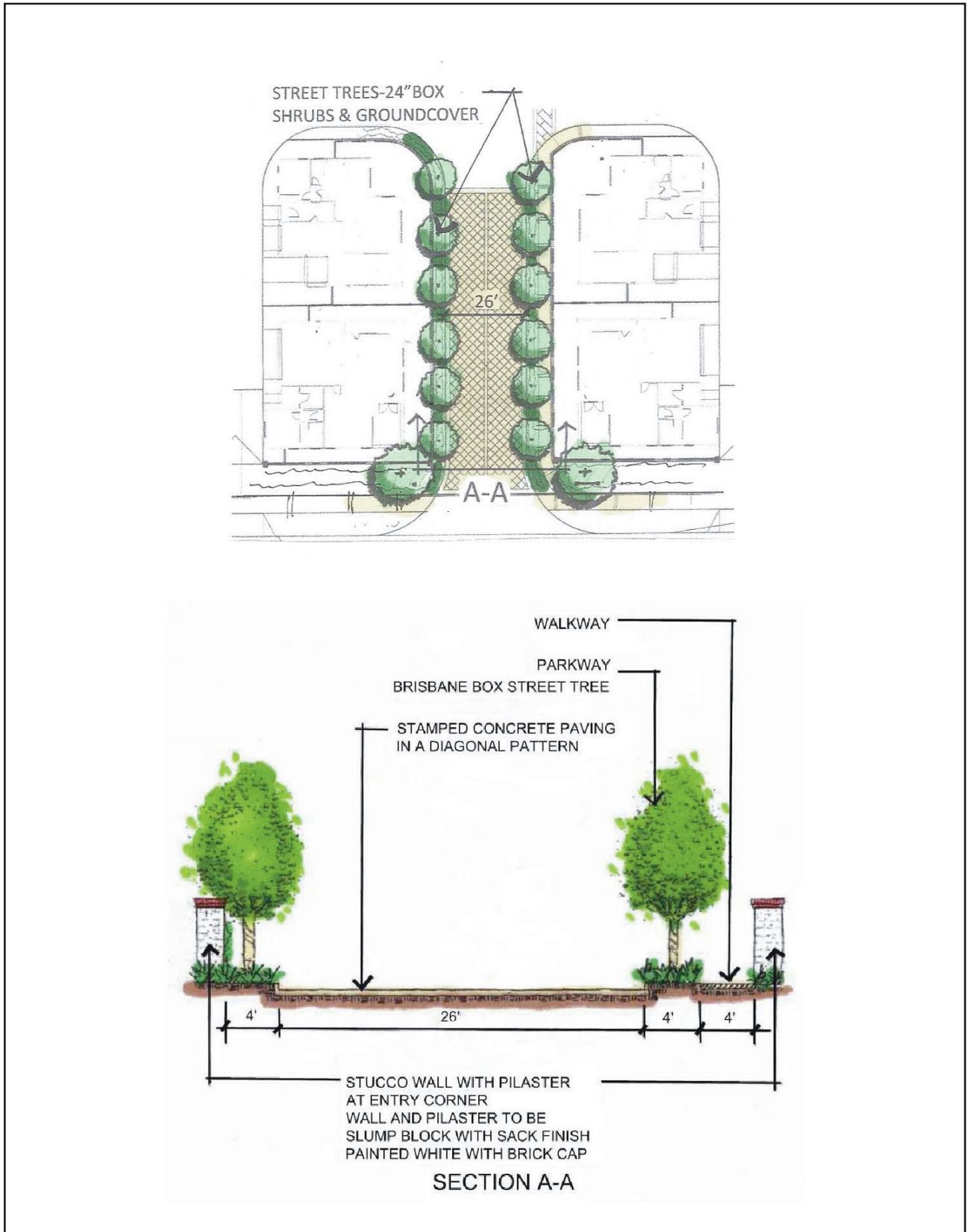


Exhibit 19
Streetscape Sections

SECTION 4. DESIGN CRITERIA

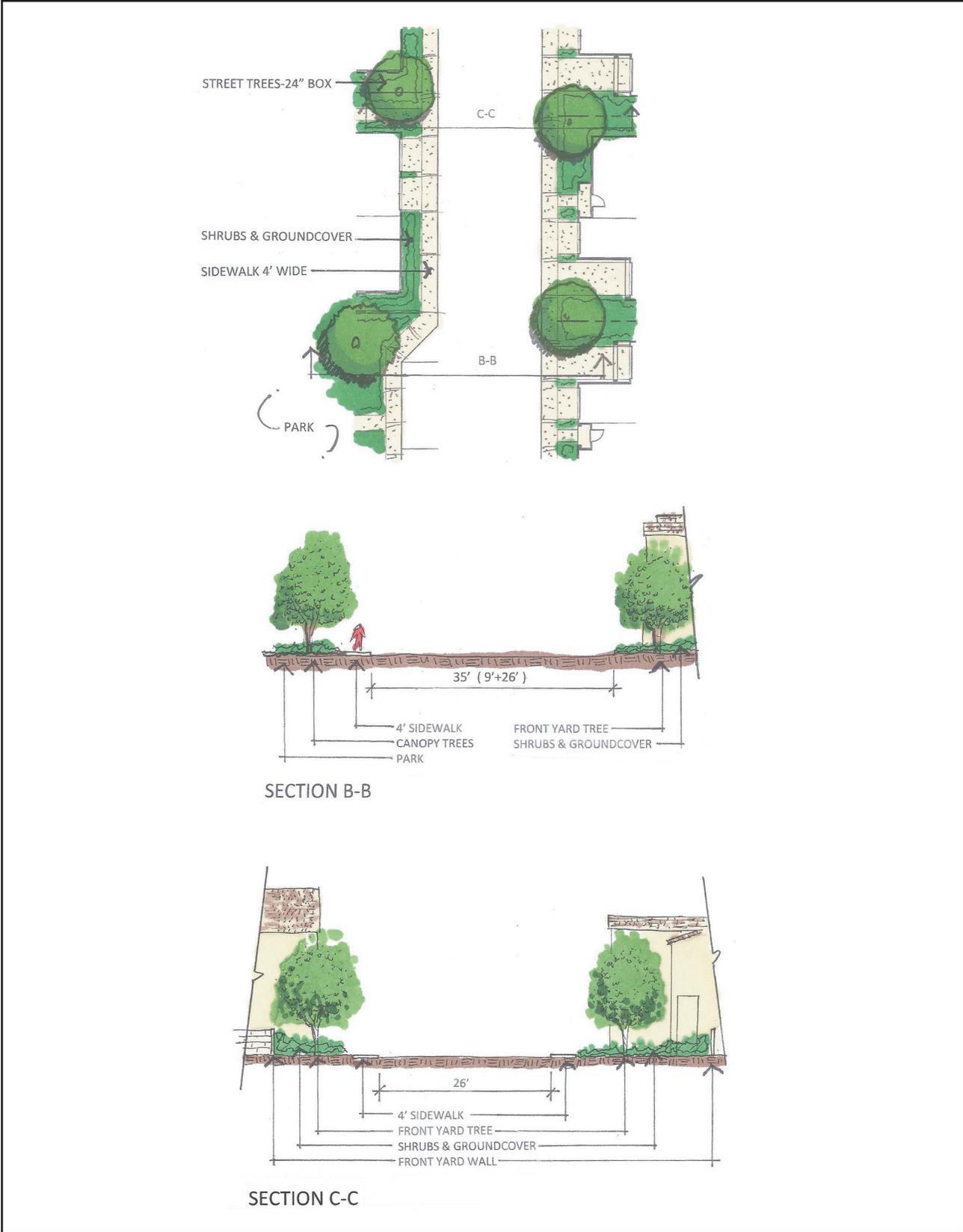


Exhibit 20
Streetscape Sections

SECTION 4. DESIGN CRITERIA



Exhibit 21
Streetscape Sections

SECTION 4. DESIGN CRITERIA

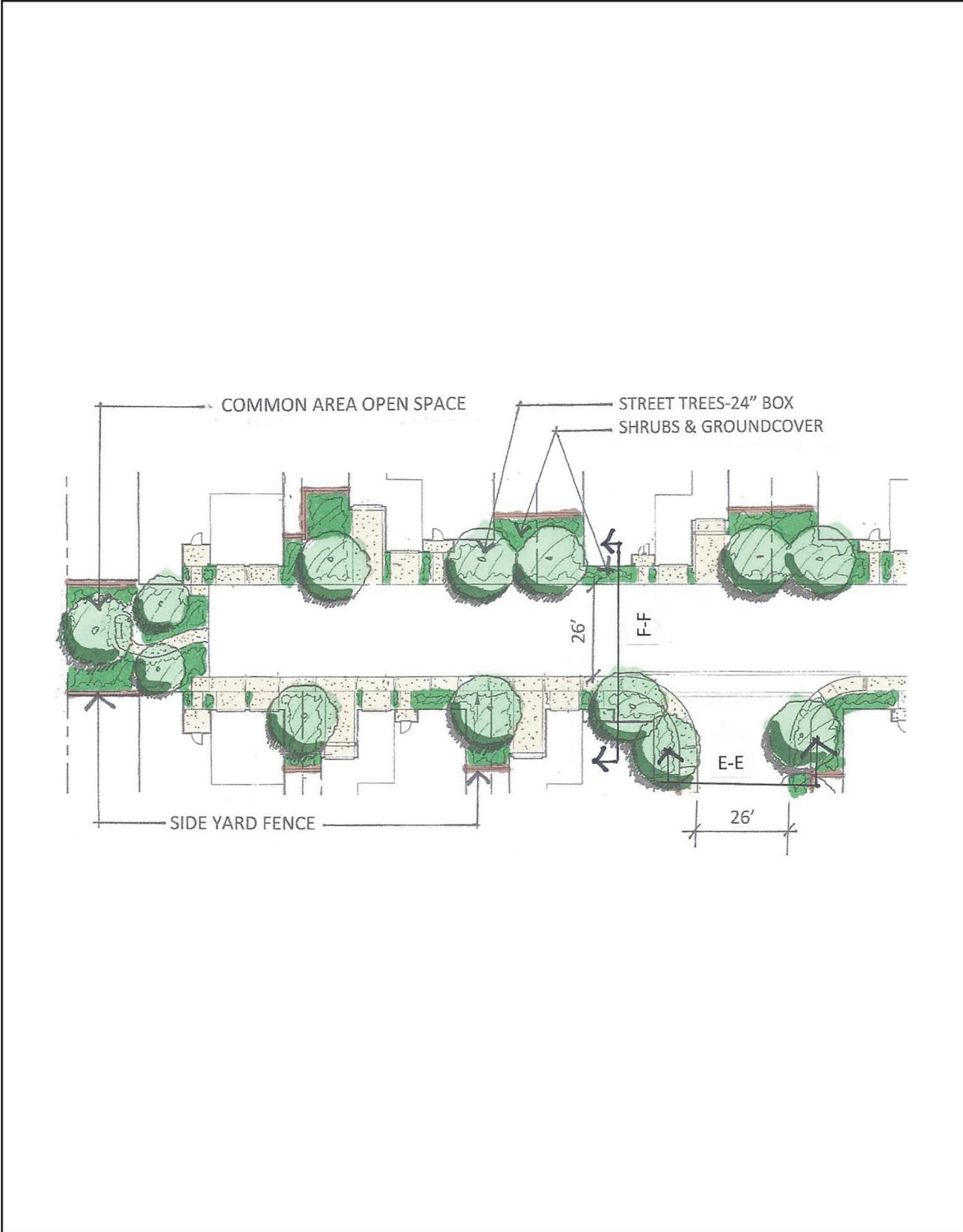


Exhibit 22
Streetscape Sections

SECTION 4. DESIGN CRITERIA

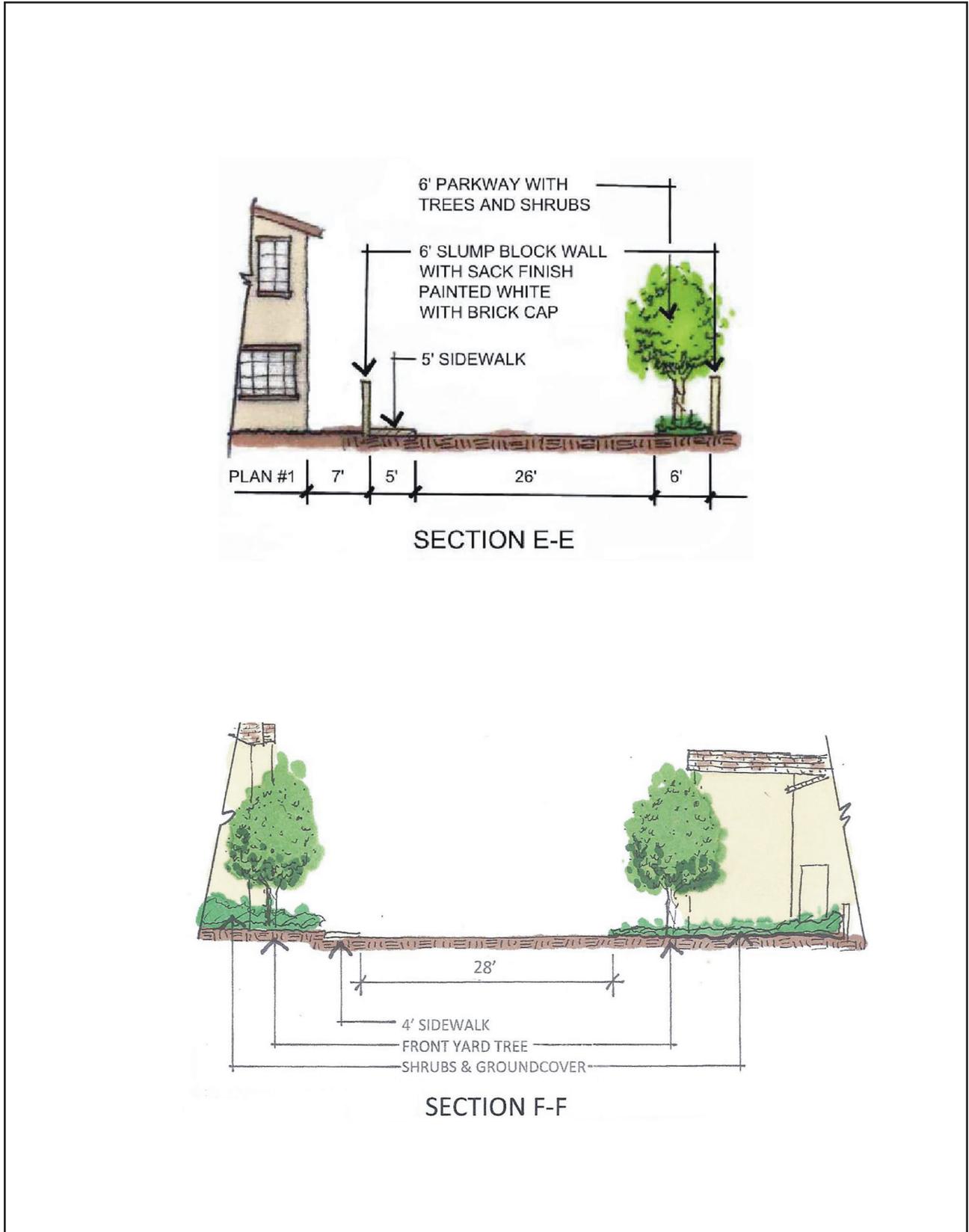
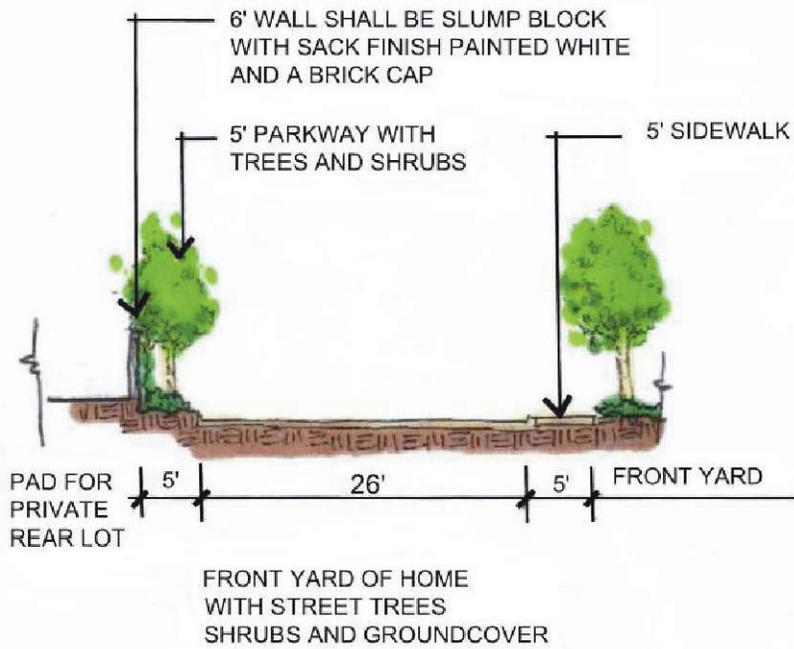
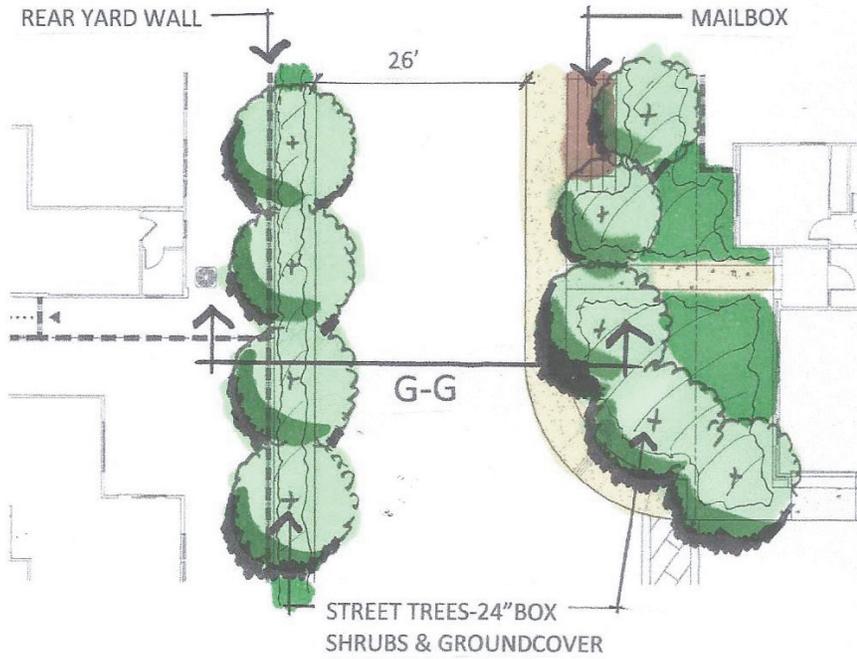


Exhibit 23

Streetscape Sections

SECTION 4. DESIGN CRITERIA



SECTION G-G

Exhibit 24

Streetscape Sections

SECTION 4. DESIGN CRITERIA

4.2.5 Common Area Open Space

The Spanish Trails community will have common area open space provided for the passive recreational use of its residents. Exterior walkways will lead to the areas designated for common area open space.

A centrally located open space area is provided which shall include the following improvements;

- Children’s play area with sculptures.
- Picnic and barbeque area with an overhead shade structure.
- An adult exercise station.
- Basketball court.
- Mailbox shelter.
- The open space area will be heavily landscaped with canopy trees to provide shade, shrubs, and ground cover.

Two vest pocket open space areas will be provided for passive recreational use. These open space areas occur at each end of an interior street serving residents in the northerly portion of the Project. The vest pocket open space areas will be heavily landscaped with canopy trees to provide shade, shrubs, and ground cover. Benches will be provided under canopy trees and trellises.

The common area open space of Spanish Trails is illustrated on Exhibit 25, “Common Area Open Space,” Exhibit 26, “Central Open Space Section View,” and Exhibit 27, “Common Area Open Space Amenities.”

4.3 Walls and Fencing

Walls and fencing are an important component of the overall landscape design of a community. Walls and fences should be designed to complement and reinforce landscape design in establishing the image and theme of the community. The type and location of Project walls and fences are described on Exhibit 28, “Wall and Fence Master Plan,” Exhibit 29, “Wall and

Fence Section Views,” and further described on Exhibit 30, “Wall and Fence Details.”

4.3.1 Community Walls

Community walls constructed as part of the Project shall be decorative in nature. Decorative accent pilasters are required. Community perimeter walls constructed as part of the Project, interior community return walls and the community entry wall along 15th Street shall be constructed of slump block with a painted finish. Use of decorative caps and pilasters to help enhance the perimeter appeal of the walls is required. All perimeter walls along the north, west and east Project boundaries shall be constructed within the boundaries of the Project Site.

4.3.2 Residential Walls and Fences

Rear yard property walls constructed as part of the Project shall be block walls with a painted finish. Rear yard property walls shall be decorative in nature. Decorative accent pilasters are required. Vinyl fencing may be used along interior residential property lines.

4.3.3 Other Fences

- Tubular steel fencing is permitted to secure tot lot areas.
- Emergency vehicle access areas shall be secured with tubular steel gates.

SECTION 4. DESIGN CRITERIA

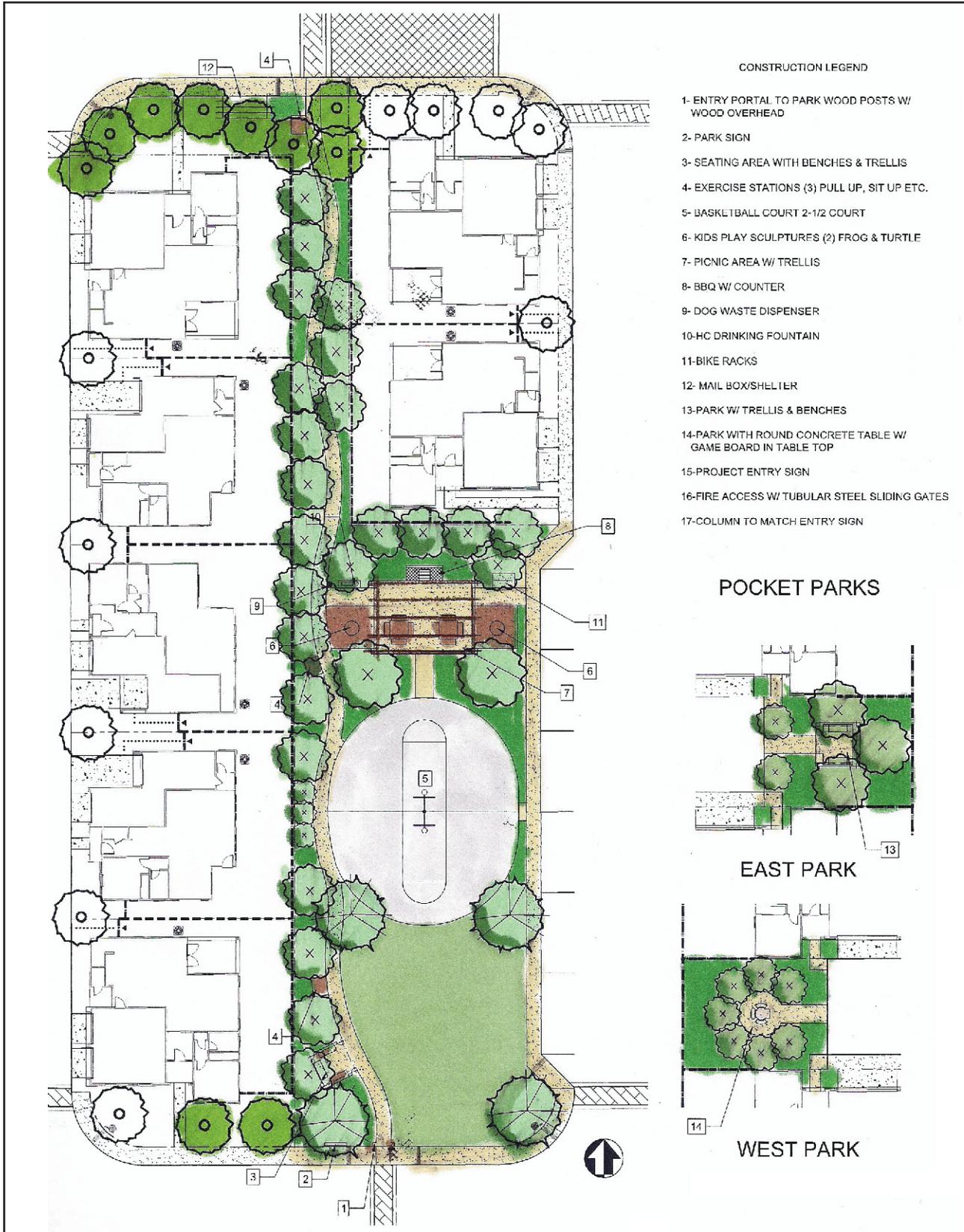
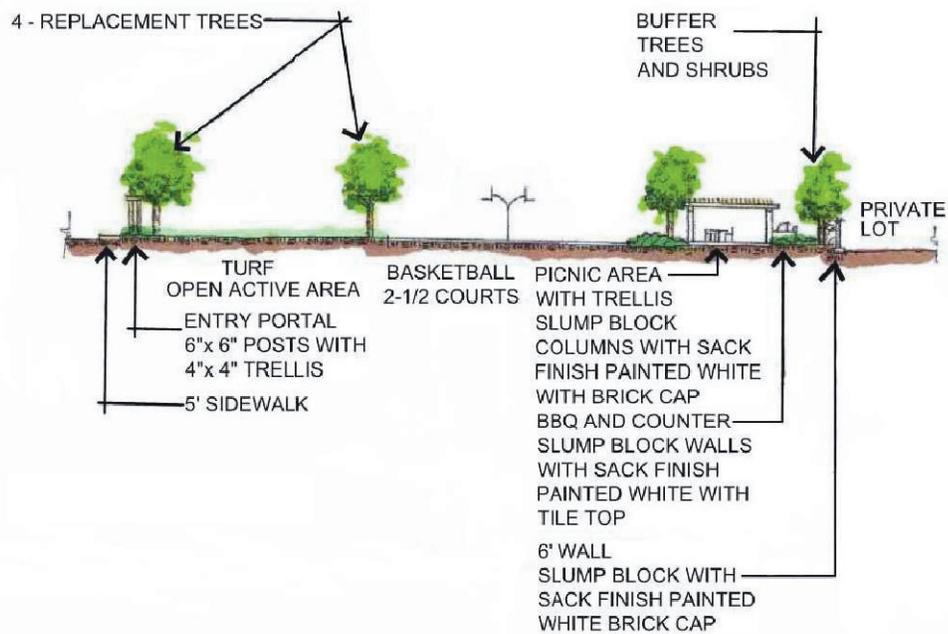


Exhibit 25

Common Area Open Space

SECTION 4. DESIGN CRITERIA



CENTRAL OPEN SPACE CROSS SECTION

Exhibit 26

Central Open Space Section View

SECTION 4. DESIGN CRITERIA



MAIL BOX



HC DRINKING FOUNTAIN



BIKE RACK



Toad
 Dimensions:
 38" long x 36" wide x 20" high
 Model No. 105
 Weight: 585 lbs

Turtle
 Dimensions:
 36" long x 31" wide x 16" high
 Model No. 106
 Weight: 475 lbs

KIDS PLAY AMENITIES



EXERCISE STATION (3)



BBQ (1) & COUNTER CONCEPT



OVERHEAD DESIGN CONCEPT

Exhibit 27

Common Area Open Space Amenities

SECTION 4. DESIGN CRITERIA

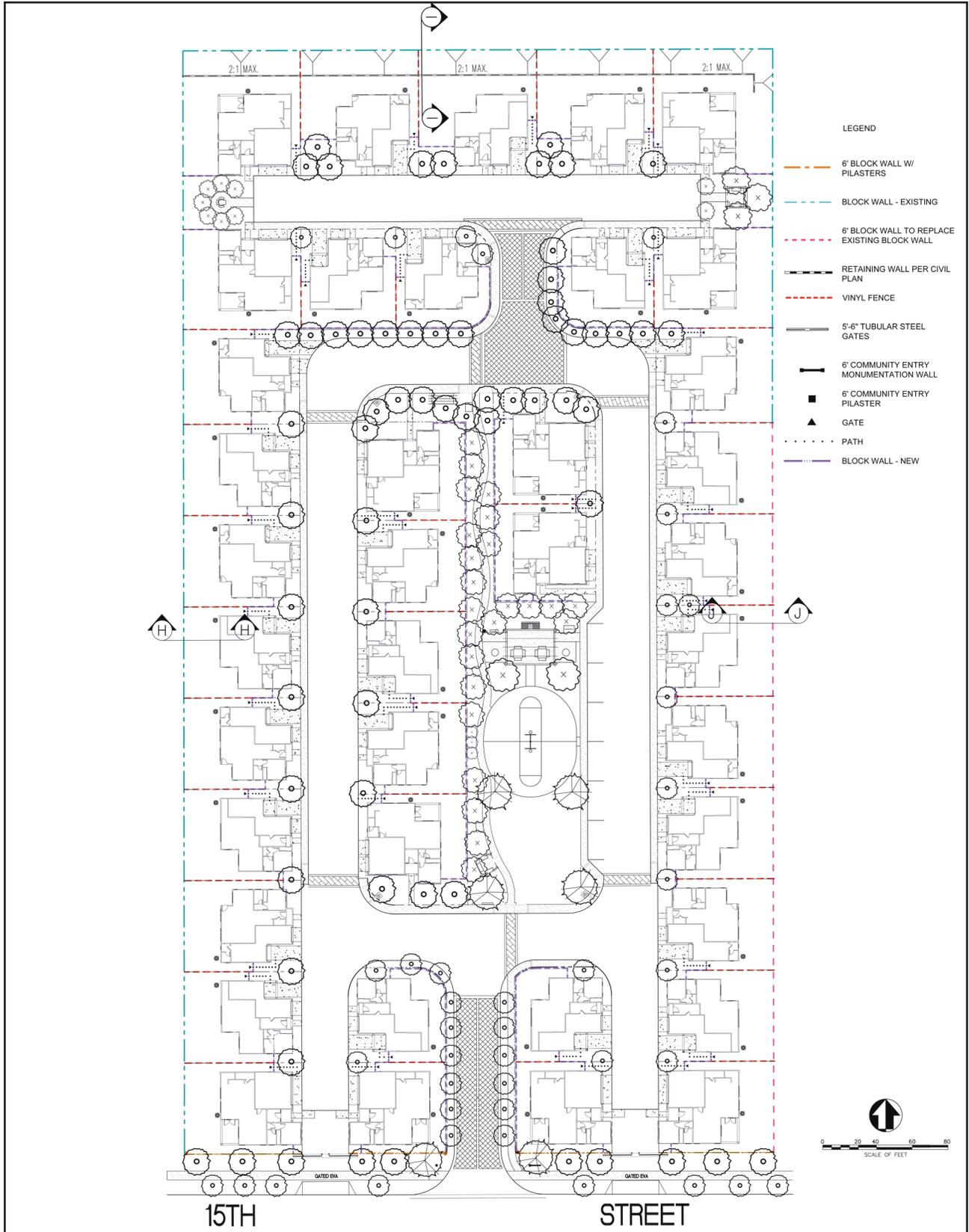


Exhibit 28
Wall and Fence Master Plan

SECTION 4. DESIGN CRITERIA

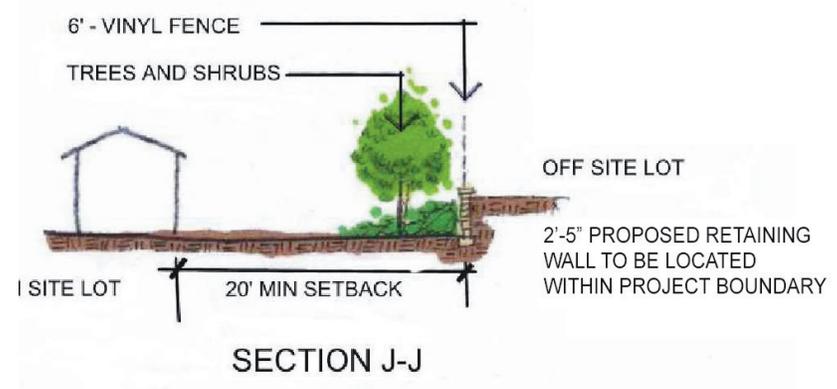
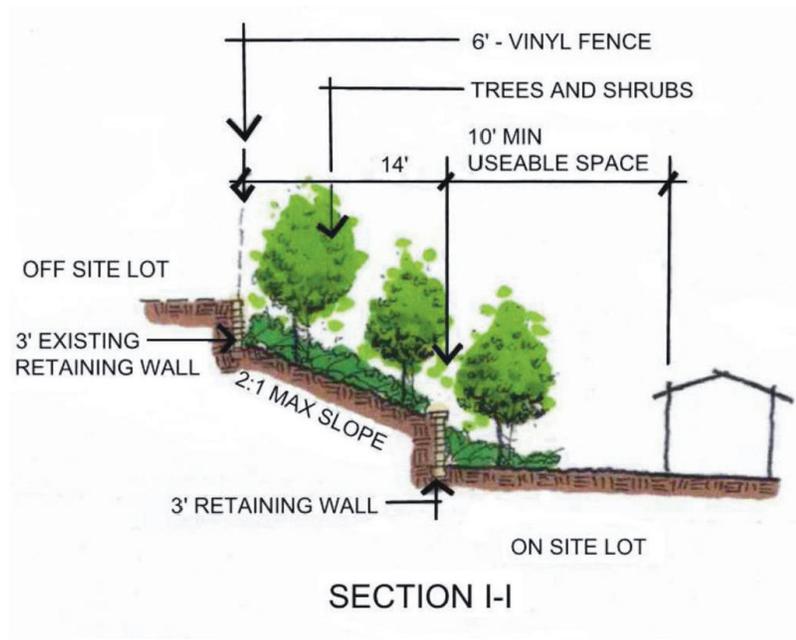
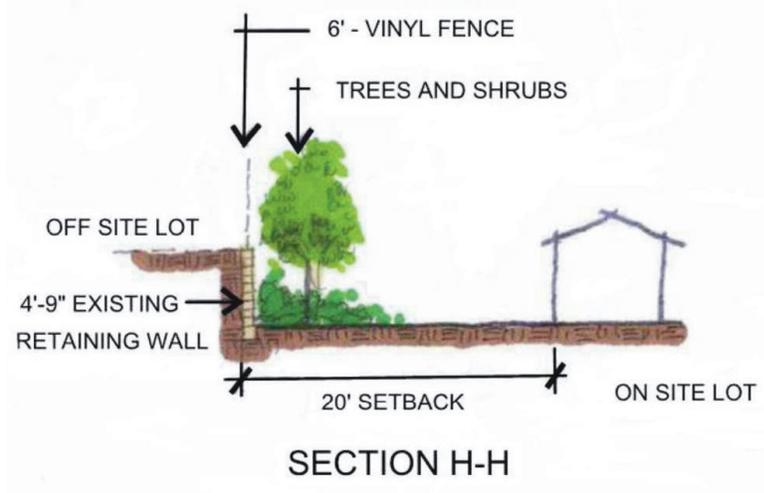
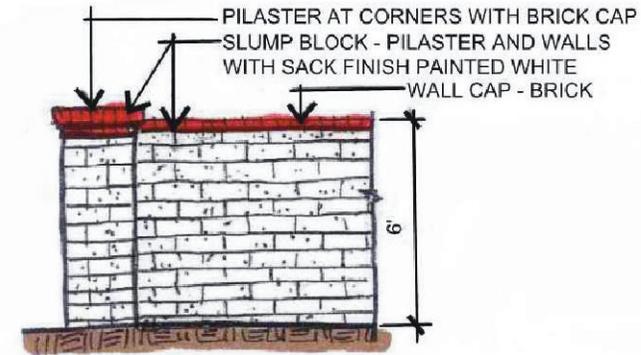
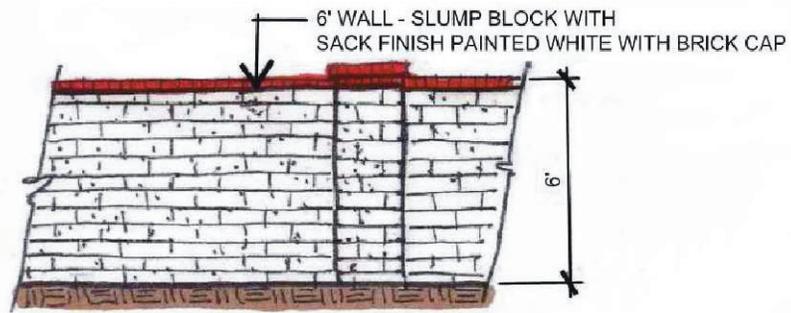


Exhibit 29
Wall and Fence Section Views

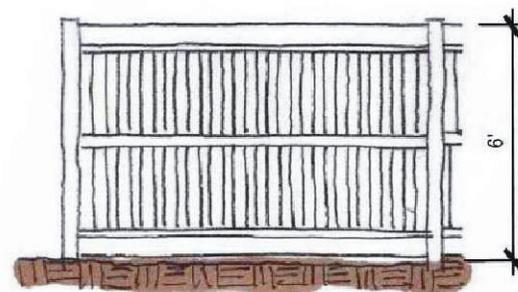
SECTION 4. DESIGN CRITERIA



15TH STREET BLOCK WALL



SLUMP BLOCK WALL



VINYL FENCE - INTERIOR OF LOTS

Exhibit 30

Wall and Fence Details

SECTION 4. DESIGN CRITERIA

4.4 Outdoor Lighting

Lighting of streets, common area open space, and select landscaped areas should be considered for safety and security. Utilization of “dark sky friendly” light fixtures on local streets shall be required. Maintaining the character of traditional materials will create a pedestrian scale for the neighborhood. Lighting fixtures within Spanish Trails shall be consistent in style, color, and materials in order to maintain uniformity throughout the Project. The style for street lighting fixtures within Spanish Trails is illustrated on Exhibit 31, “Typical Street Light Fixture.”

A hierarchy for all lighting within Spanish Trails shall be established by using a variety of lighting fixtures and illumination levels based lighting design intent. Lighting styles shall tie into architectural styles and provide sufficient illumination for the safety and well being of the community. Frosted, louvered, or prismatic lens should be considered where decorative lighting fixtures are visible and part of the aesthetic lighting program. Accent lighting of landscape and monumentation shall be incorporated into the following areas:

4.4.1 Entry Monument Lighting:

Avoid intensely bright or “hot” lighting of the Community Entry monument; the monument should be lit to provide a soft wash of light across the monument signage. Specimen trees should be up-lit with several fixtures into the canopy to avoid creating dark sides of the trees.

4.4.2 Common Area Open Space and Walkway Lighting

Lighting of the walkways within the common area open space should be considered for safety and security. Security lighting fixtures shall be vandal resistant, not less than (8) eight feet from ground level. Low level pedestrian lighting along walkways within the common area open space

should be provided to create a better sense of scale to the pedestrian. Luminaries of not less than 42” in height may be utilized to illuminate a walkway if adjacent landscaping is of a variety which does not mature higher than two feet.

4.5 Signs

All signs within Spanish Trails shall conform to a sign program submitted by the applicant and approved by the City. The sign program shall serve to reinforce the overall design theme for the community and to promote an overall “sense of place” through architecturally integrated, visually coordinated, and aesthetically balanced sign design. As part of the sign program the design of all sign graphics shall be carefully considered in relation to the site architecture and landscaping, as well as to the specific content of the area. Conformity of design among all signs is required.

4.5.1 Sign Program Objectives

Signs within Spanish Trails shall address the following objectives:

- Provide a project identity through elements that convey a distinct community character enhancing the collective architectural theme.
- Provide for a hierarchy of signs to address Project identity, directions and information within the community, and identify the common area open space and Project amenities.
- Ensure the efficient circulation of vehicle traffic within the Project Site.
- Enhance the pedestrian and biking experience through attractive and comprehensible way-finding signage and destination identifiers.

4.5.2 Sign Design Criteria

The following design criteria shall be considered for Project signs:

- Signs shall be of uniform design relative to each other, sharing similar colors, materials, and shapes.
- Signs shall be color compatible with building architecture and landscape features on the site.
- Materials shall include the use of real veneer materials instead of faux concrete veneers.

Representative examples of the sign types and design that should be included in the Spanish Trails sign program are illustrated in Exhibit 32, “Sign Concepts.”

4.6 Architectural Design

The architecture represented in the Spanish Trails community shall be comprised of rich, traditional styles that complement the Project and serve to reinforce diversity in the community street scene. Three separate and distinct architectural styles influenced by thematic architecture found within California have been selected for the Project. Each style is presented on the following pages describing the characteristics that begin to express the anticipated architectural character for the community. These styles are influenced and inspired by the themes of each style, all represented in historical California architecture. Other architectural styles may be approved for the Project by the City as part of Development Plan Review. Other styles should exhibit compatibility to the three styles described below.

SECTION 4. DESIGN CRITERIA



Exhibit 31

Typical Street Light Fixture

SECTION 4. DESIGN CRITERIA

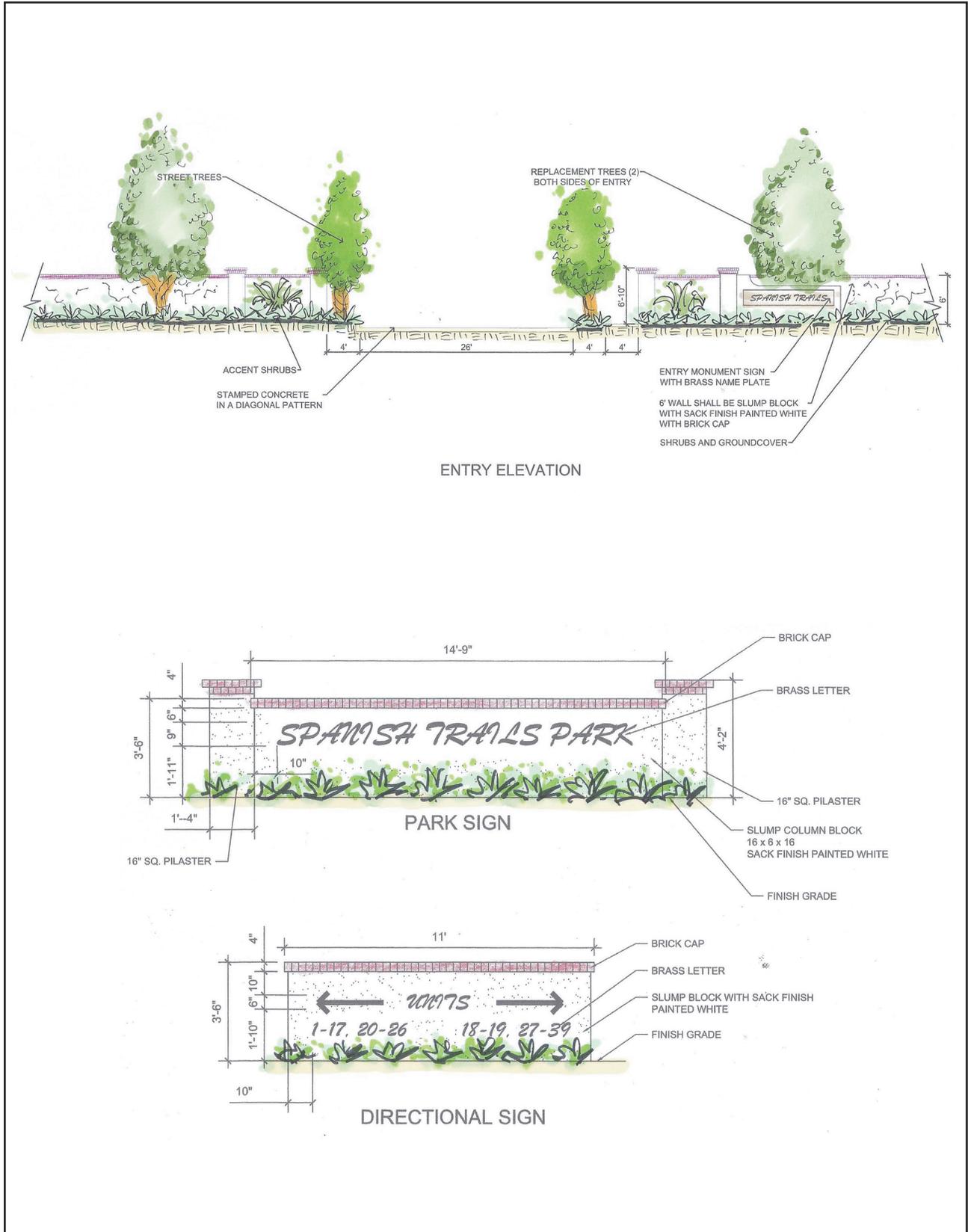


Exhibit 32
Sign Concepts

SECTION 4. DESIGN CRITERIA

4.6.1 Spanish Influenced Style

Spanish style architecture is a style which evolved from the architecture of the early Spanish colonies of North and South America, retaining the forms and textures of its cultural origin and updating them to fit a more modern context. This regional expression combines the basic forms of traditional Spanish and Mexican architecture with local styles prevalent at the time such as Mission and Arts and Crafts to create an architecture with a fine sense of detailing and a rich palette of materials. This style can borrow from both the hacienda and bungalow, and can be represented in a variety of interpretations as seen throughout the Southland. Some distinguishing features of this historic style include plaster walls, chimneys with distinctive hoods, low-pitched clay tile roofs and decorative wrought iron. Decorative tile, terra cotta pavers, finials and wood decks or balconies are also employed to add color, texture, and accent to this Southern California aesthetic.

The following elements define the Spanish architectural style for Spanish Trails.

ELEMENTS	MINIMUM STANDARDS	ENCOURAGED ENHANCEMENTS
Form	Asymmetrical, one and two-story volumes	<ul style="list-style-type: none"> • Turrets • 12" to 18" second-floor cantilevers
Roof	<ul style="list-style-type: none"> • Gable and shed roof forms • 3:12 to 4:12 pitch • Barrel 'S'-shape tile roofs 	<ul style="list-style-type: none"> • Cut rafter tails • Flush rakes • Profile eaves
Walls	Smooth to light sand finish stucco	<ul style="list-style-type: none"> • Rounded wall return to windows and doors • Arches or arched portals
Windows	<ul style="list-style-type: none"> • Wood or stucco trim surrounds • Windows with divided lights 	<ul style="list-style-type: none"> • Plank or panel shutters • Arch-top feature windows
Details	<ul style="list-style-type: none"> • Garage door patterns to complement style • Recessed, articulated entry 	<ul style="list-style-type: none"> • Wrought iron pots helves under windows • Juliet balconies • Finials • Bartizans • Wood decks • Gable end details
Colors	<ul style="list-style-type: none"> • Field: Whites, light earth tones • Trim: Dark contrasting color • Accents: Decorative tile 	

The characteristics of the Spanish architectural style are illustrated on Exhibits 33 and 34, "Spanish Style" and on Exhibit 35 "Spanish Style Details."

SECTION 4. DESIGN CRITERIA



Lighted
House Numbers

SPANISH



Lighted
House Numbers

SPANISH

SIDE ON GARAGE ELEVATION

Exhibit 33
Spanish Style

SECTION 4. DESIGN CRITERIA



Lighted
House Numbers

SPANISH



Lighted
House Numbers

SPANISH

SIDE ON GARAGE ELEVATION

Exhibit 34

Spanish Style

SECTION 4. DESIGN CRITERIA

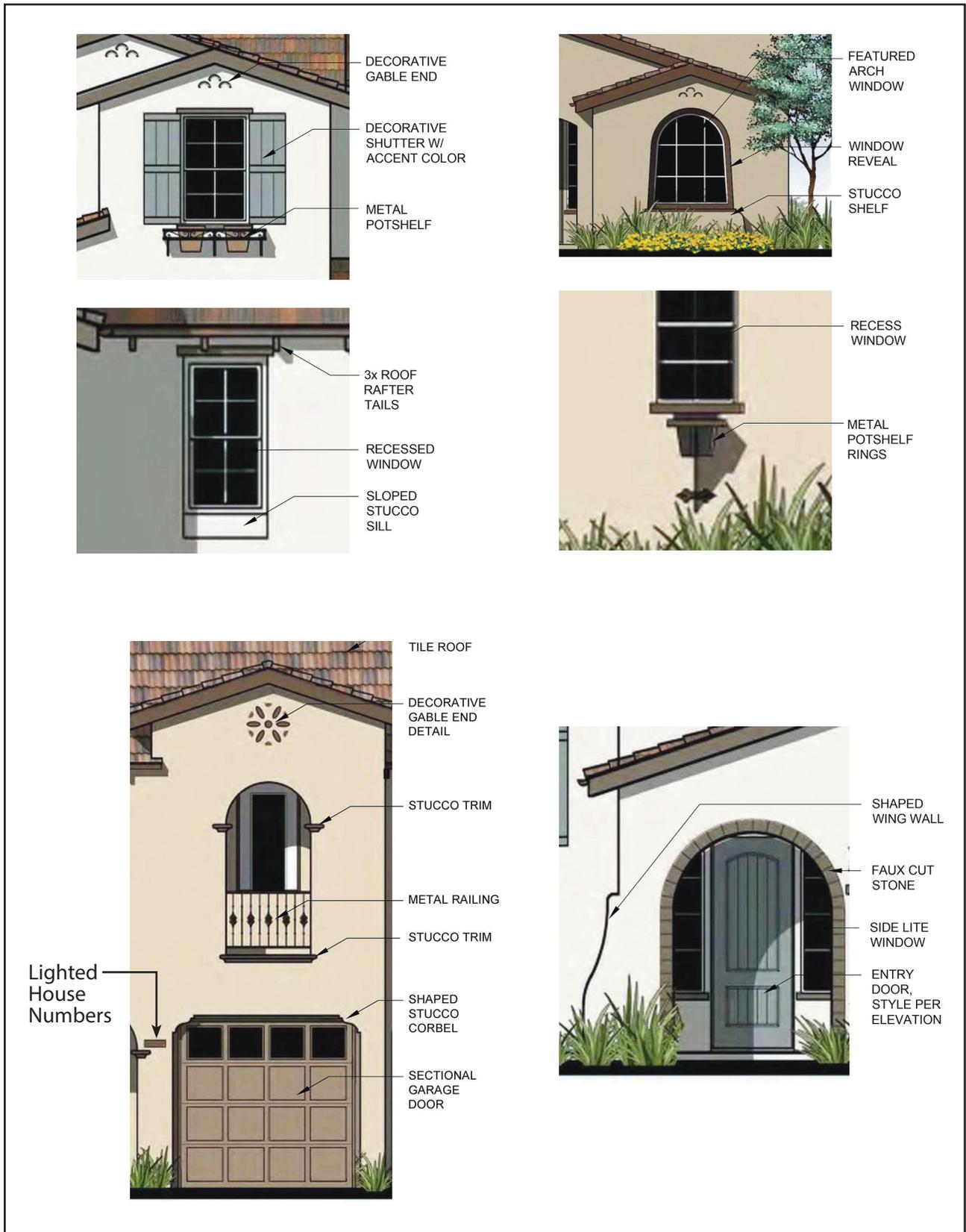


Exhibit 35
Spanish Style Details

SECTION 4. DESIGN CRITERIA

4.6.2 Italianate Influences

The Italianate style as interpreted and conceived by Southern California architects of the early 20th century adapted the grand formal elegance of the Italian Renaissance estate with a localized approach to detailing and scale. Composed primarily of stacked two-story forms, the front elevations of these homes display a distinct organization of windows and doors, with a centrally located, articulated entry. Key identifying features of this style include low-pitched hip roofs, decorative eave brackets, horizontal banding, round columns, and arched elements, particularly above rectangular windows. Southern California architects also used awnings and wrought iron to achieve a regional aesthetic while retaining strong connections to the style's origins.

The following elements define the Italianate architectural style for Spanish Trails.

ELEMENTS	MINIMUM STANDARDS	ENCOURAGED ENHANCEMENTS
Form	Stacked two story massing	Front courtyard
Roof	<ul style="list-style-type: none"> • Main hip roof • Low, 4:12 pitch • Minimum 12" deep overhangs with shaped stucco frieze trim and or corbels • 'S'-shape tile roofs 	<ul style="list-style-type: none"> • Stucco cornice, closed eaves
Walls	<ul style="list-style-type: none"> • Smooth to light sand finish stucco • Precast or simulated precast trim at feature locations 	<ul style="list-style-type: none"> • Concrete or concrete-like stacked quoins on corners at the front elevation • Horizontal banding
Windows	<ul style="list-style-type: none"> • Vertically hung multi-paned windows • Feature windows 	<ul style="list-style-type: none"> • Panel shutters with hardware
Details	<ul style="list-style-type: none"> • Garage door patterns to complement style • Covered entry porch • Simple round or square stucco columns 	<ul style="list-style-type: none"> • Arched recesses or curved windows above rectangular windows • Deep recessed windows • Windows ganged together
Colors	<ul style="list-style-type: none"> • Field: Rich, warm palette • Trim: Darker and contrasting to body color • Accents: Terracotta color roofs 	

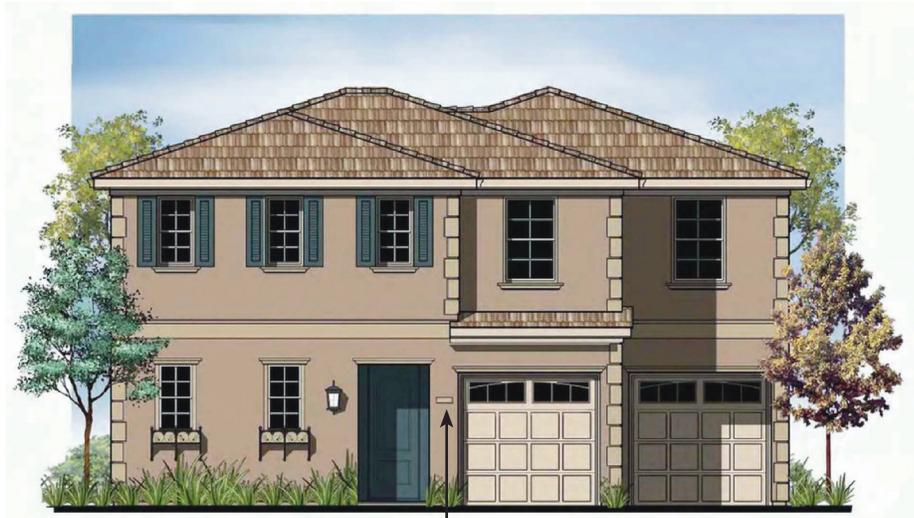
The characteristics of the Italianate architectural style are illustrated on Exhibits 36 and 37, "Italianate Style" and on Exhibit 38 "Italianate Style Details."

SECTION 4. DESIGN CRITERIA



Lighted
House Numbers

ITALIANATE



Lighted
House Numbers

ITALIANATE

Exhibit 36

Italianate Style

SECTION 4. DESIGN CRITERIA



Lighted House Numbers

ITALIANATE



Lighted House Numbers

ITALIANATE

SIDE ON GARAGE ELEVATION

Exhibit 37
Italianate Style

SECTION 4. DESIGN CRITERIA



Exhibit 38

Italianate Style Details

SECTION 4. DESIGN CRITERIA

4.6.3 French Country Influences

French Country architecture is derived from a mixture of European influences. After the adoption of stone and brick veneer techniques of the 1920's, the look became extremely popular across the country. Although the style is looked upon as a small plan form, it is considered one of the most recognized styles in suburban America. The French Country style emphasizes an asymmetrical plan and roof form, and details emphasize specific portions of the home such as the entry, gable end components with corbels, shutters, and window shelves. Stone veneer or gable end siding are incorporated for texture and color accompaniments. This style has a steeper roof slope to contrast with the other styles for a diverse street scene.

The following elements define the French Country architectural style for Spanish Trails.

ELEMENTS	MINIMUM STANDARDS	ENCOURAGED ENHANCEMENTS
Form	<ul style="list-style-type: none"> • Asymmetrical plan form massing • Recessed Entry 	<ul style="list-style-type: none"> • Irregular plan form massing with recessed 2nd floor
Roof	<ul style="list-style-type: none"> • Main hip or gable roof with intersecting gable • 6:12-8:12 primary roof pitch • 0"-12" overhangs • Architectural grade composition or smooth flat concrete tiles 	<ul style="list-style-type: none"> • 9:12-12:12 secondary roof pitch • Broken roof pitch on front elevation • Main roof hip or gable with intersecting gable roof
Walls	<ul style="list-style-type: none"> • Stucco 	<ul style="list-style-type: none"> • Siding or stone accents
Windows	<ul style="list-style-type: none"> • Vertical multi-divided windows at front elevation • Multi-divided windows or inserts on side and rear elevations in high visibility areas • Simple window trim surrounds proportionate to window size • Shutters on primary windows 	<ul style="list-style-type: none"> • Curved or round top accent windows • Bay windows • Single hung windows at front elevation • Enhanced sills
Details	<ul style="list-style-type: none"> • Decorative gable end detailing or vents • Lighting fixtures to complement style • Garage door patterns to complement style 	<ul style="list-style-type: none"> • Stone veneer chimney • Wrought iron or wood-like balconies • Entry accents with real or simulated stone • Coach light
Colors	<ul style="list-style-type: none"> • Field: Whites or light tones or mid-earth tones • Trim: Whites or light-medium tones to complement field color • Accents: Light or dark shades to complement field color 	

The characteristics of the French Country architectural style are illustrated on Exhibits 39 and 40, "French Country Style" and on Exhibit 41 "French Country Style Details."

SECTION 4. DESIGN CRITERIA



FRENCH COUNTRY



Lighted
House Numbers

FRENCH COUNTRY

Exhibit 39
French Country Style

SECTION 4. DESIGN CRITERIA



Lighted
House Numbers

FRENCH COUNTRY



Lighted
House Numbers

FRENCH COUNTRY

SIDE ON GARAGE ELEVATION

Exhibit 40

French Country Style

SECTION 4. DESIGN CRITERIA

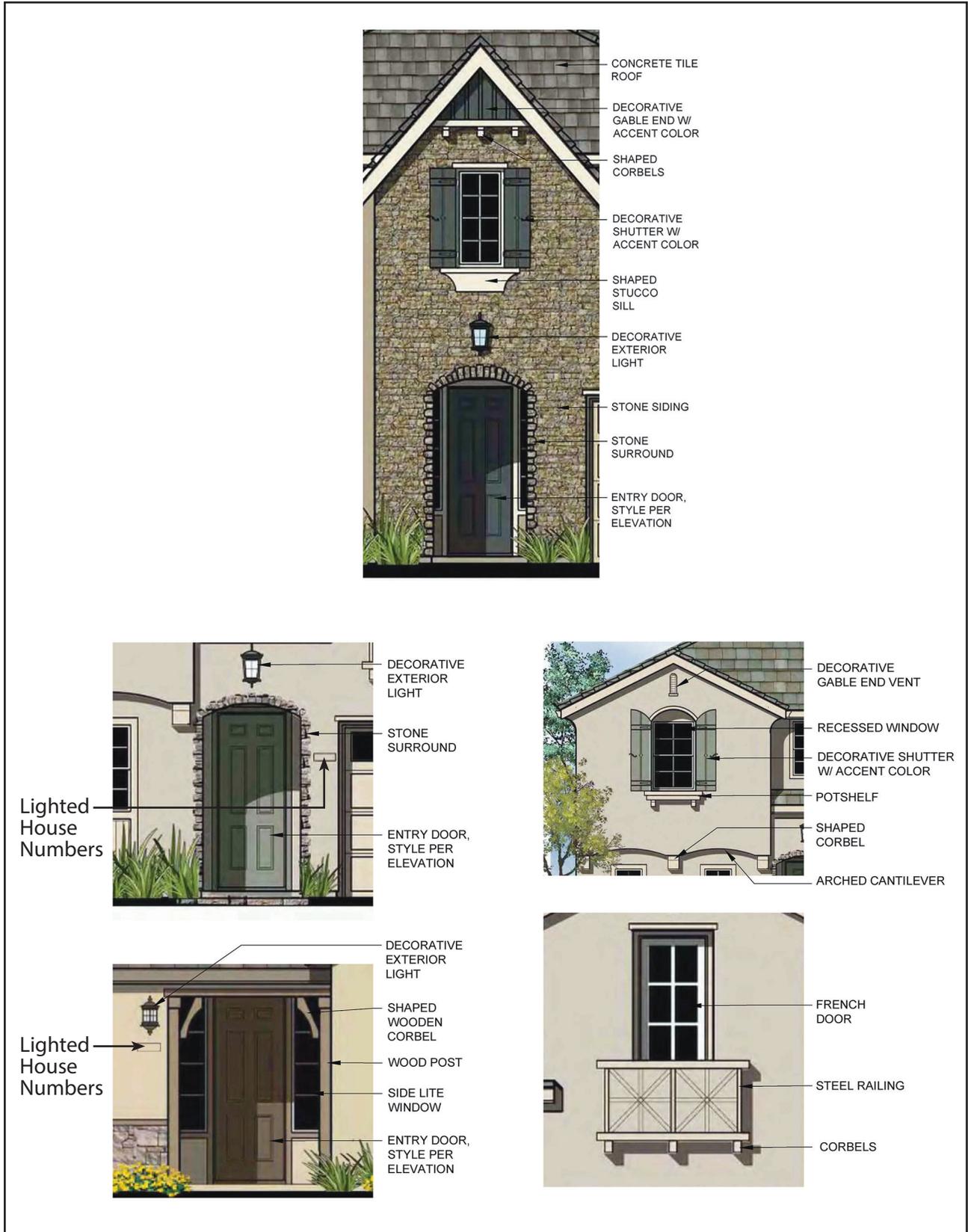


Exhibit 41
French Country Style Details

SECTION 5. IMPLEMENTATION AND ADMINISTRATION

Section 5. Implementation and Administration

The Specific Plan implements the General Plan land use designation of Medium Single Family Residential, 4-10 dwelling units per acre (SFR-M) and serves as the zoning for the Project Site. The Specific Plan regulates allowable land use, required infrastructure improvements, development requirements, and design criteria, for the Project Site. The methods for implementation of development within the Project Site and administration of the Specific Plan are established in this section.

5.1 Methods and Applicability

All development proposals within the Specific Plan shall be subject to the implementation procedures established herein. Development within the Project Site shall be implemented through the approval by the City of a tentative and final tract map and through site plan and design review pursuant to Upland Municipal Code, Title 17, "Planning and Zoning" (Zoning Code). The implementation process described herein provides the mechanisms for review and approval by the City of the development project proposed for the Project Site.

Whenever the provisions and development standards contained herein conflict with those contained in the Zoning Code, the provisions of the Specific Plan shall take precedence.

5.2 Severability

If any regulation, condition, program, or portion of the Specific Plan is held invalid or unenforceable, such portions shall be deemed separate, distinct, and independent provisions, and the invalidity of such portions or provisions shall not affect the validity and enforceability of the remaining portions and provisions therein.

5.3 Interpretation

Unless otherwise provided, any ambiguity concerning the content or application of the Specific Plan shall be resolved by the City of Upland Development Services Director or his/her designee in a manner consistent with the goals, policies, purpose and intent established in this Specific Plan.

5.4 Development Review

Implementation of the Project is subject to additional City approvals, subsequent to approval of the Specific Plan, including approval of a Tentative and Final Tract Map(s) and Site Plan and Design Review. The Project shall comply with all applicable State and local building and fire codes in effect at the time of Project implementation.

5.4.1 Subdivision Maps

Approval of a tentative and final tract map shall be required for the Project. The tentative and final tract map shall be reviewed and approved pursuant to applicable provisions of the City of Upland Municipal Code, Title 16, "Subdivisions," Zoning Code Section 17.44.080, (Parcel Maps and Tract Maps), and consistent with the applicable provisions of the Development Plan, Development Regulations, and Design Criteria contained within the Specific Plan.

5.4.2 Site Plan and Design Review

All development within the Project Site shall be subject to the provisions of site plan and design review pursuant to Zoning Code Section 17.44.030, (Development Plan Review).

Pursuant to these provisions, the site plan and design review process constitutes a review and approval of project site plans, architecture, and landscape plans. The site plan and design review application for any project shall include a landscape and irrigation plan describing plant

SECTION 5. IMPLEMENTATION AND ADMINISTRATION

materials and their growth habits, plant size and spacing, methods of irrigation and landscaping maintenance; a comprehensive site plan of development including the distribution of land use, lot layout, detailed site plan for common area open space and residential plot plan, architectural elevations and floor plans, grading plans and other requirements as specified by the City.

5.5 Specific Plan Modifications and Amendments

5.5.1 Modifications

The following constitute modifications to the Specific Plan, not requiring a Specific Plan Amendment, and are subject to review and approval by the Development Services Director. The Development Services Director shall have the discretion to refer any such request for modification to the Planning Commission.

- a. Change in utility and/or public service provider.
- b. Minor changes to landscape materials, wall materials, wall alignment, entry design, and streetscape design which are deemed by the Development Services Director to be substantively consistent with the conceptual design set forth in the design criteria contained within the Specific Plan.
- c. Minor changes to the architectural floor plans and/or architectural design criteria of the Specific Plan provided the change does not result in a variation of more than 20% of any quantifiable design criteria.
- d. Other modifications deemed similar in nature by the Development Services Director to the above, which the Development Services Director determines is in keeping with the purpose and intent of the approved Specific Plan, and which are in conformance with the General Plan.

5.5.2 Specific Plan Amendments

Amendments to the Specific Plan may be requested by the applicant or by the City at any time pursuant to Section 65453(a) of the Government Code. Amendments shall be processed pursuant to the provisions of the Government Code for Specific Plan Amendments. In the event the proposed amendment requires supplemental environmental analysis pursuant to the California Environmental Quality Act (CEQA), the applicant is responsible for preparing the necessary CEQA documentation.

5.6 Appeals

Appeals from any determination of the Development Services Director shall be made to the Planning Commission. The applicant(s) or any other entity shall have the right to appeal the decision of the Planning Commission on any determination to the City Council. Appeals shall be filed on forms provided by the City of Upland. Appeals shall be processed consistent with the provisions of Zoning Code Chapter 17.47 (Referrals, Appeals, and Calls for Review).

5.7 Compliance with Mitigation Measures

Development within the Project Site shall comply with all approved mitigation measures as described in the Mitigated Negative Declaration prepared for the Project and adopted by the City.

5.8 Project Financing

The financing of construction, operation, and maintenance of public improvements and facilities (the “facilities”) and public services for the Project may include a combination of financing mechanisms. Final determination as to the facilities to be constructed and maintenance responsibilities, whether publicly or privately maintained, shall be determined as part of recordation

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of a final map. City approval is a prerequisite for the establishment and implementation of any and all special district-financing mechanisms. The following financing options can be considered for implementation.

5.8.1 Facilities and Services

- a. Private capital investment for the construction of facilities.
- b. Traditional Assessment Districts pursuant to the 1911 or 1913 enabling legislation, Community Facilities District (CFD) established pursuant to the Mello-Roos Community Facilities District Act of 1982, or other special district, to provide funding for the construction of a variety of public facilities and the provision of public services.

5.8.2 Facilities and Services

- a. By individual private property owner.
- b. By Homeowner Association (HOA).
- c. By Landscape and Lighting Maintenance District (LLMD).
- d. By traditional Assessment District, CFD, or other special district.

5.9 Project Phasing

Phasing of the Specific Plan will meet the following objectives:

- a. Orderly build-out of the community based upon market and economic conditions.
- b. Provision of adequate infrastructure and public facilities.
- c. Protection of public health, safety and welfare.

The phasing of residential development areas will be determined by the developer. The development of residential uses will be implemented through the approval of a tentative and final tract map and permits and pursuant to the Development Plan Review process. Three main phases of site development will be implemented as described below.

Phase 1 - Rough grading and installation of improvements to 15th Street, on site streets and alleys, connections to off-site backbone infrastructure, and construction of on-site infrastructure.

Phase 2 - Construction of sales facility and residential model home units.

Phase 3 - Construction of residential units, common area open space, landscaping and irrigation systems and Project perimeter entries, walls, and fences.

5.10 Maintenance

Maintenance of improvements within the Project Site shall be the responsibility of public and private entities as follows:

- a. All curb, gutter, sidewalk and landscape improvements constructed for 15th Street as part of the Project shall be dedicated to the City of Upland and will be maintained by the City.
- b. All streets, drives and alleys within the Project Site shall be private and maintained by the Project HOA.
- c. Front yard and common area landscape improvements within the Project Site shall be maintained by the Project HOA.
- d. Recreational areas and common area open space within the Project Site shall be maintained by the Project HOA.

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- f. On-site and off-site infrastructure improvements such as water, sewer, and storm drain facilities shall be privately constructed and dedicated to and maintained by the appropriate responsible entity.
- g. All water quality management features and Project BMPs shall be maintained by the Project HOA.

A detailed listing of maintenance responsibilities for the Project is included as Table 5.1, “Project Maintenance Matrix.”

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Table 5.1

Project Maintenance Matrix

IMPROVEMENT	HOMEOWNER	HOA	CITY	PUBLIC UTILITY
15 TH STREET SIDEWALK, PARKWAY CURB, GUTTER ADJACENT TO PROJECT			X	
10' LANDSCAPE STRIP BETWEEN 15 TH ROW AND PROJECT BOUNDARY		X		
EVA ACCESS DRIVE - ON SITE		X		
EVA ACCESS DRIVE CONNECTION TO 15 TH STREET		X		
INTERNAL PROJECT STREETS		X		
INTERNAL PROJECT SIDEWALKS, PARKWAYS, ENHANCED PAVING		X		
PROJECT ENTRY CONNECTION TO 15 TH STREET		X		
COMMUNITY ENTRY SIGN, WALLS AND LIGHTING		X		
INTERIOR PROJECT WALLS AND FENCING	X			
PROJECT BOUNDARY WALLS - NEW	X			
PROJECT BOUNDARY WALLS - EXISTING	X			
RETAINING WALLS - BOUNDARY	X			
RETAINING WALLS - INTERIOR	X			
VINYL FENCING ABOVE RETAINING WALLS	X			
COMMON AREA LANDSCAPING		X		
COMMON AREA OPEN SPACE AND IMPROVEMENT		X		
MAILBOX SHELTER		X		
RESIDENTIAL FRONT YARDS		X		
RESIDENTIAL DRIVEWAYS		X		
RESIDENTIAL SIDE YARD LANDSCAPING BETWEEN SIDE YARD WALLS AND STREET		X		
ON-SITE WATER MAINS				X
ON-SITE SEWER MAINS				X
WATER QUALITY FEATURES - ON SITE		X		
DRAINAGE IMPROVEMENTS - ON SITE		X		

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Section 6.

General Plan Consistency

California Government Code (Title 7, Division 1, Chapter 3, Article 8, Section 65450-65457), permits the adoption and administration of specific plans as an implementation tool for elements contained in the local general plan. Specific plans must demonstrate consistency in regulations, guidelines, and programs with the goals and policies set forth in the general plan. The Spanish Trails Specific Plan provides regulations, guidelines and standards that are consistent with the applicable City of Upland General Plan goals and policies as discussed in this section.

6.1 Land Use Element	
Policies	Specific Plan Consistency
<p>Policy LU-1.2 Permitted Densities and Intensities. Ensure existing and future zoning designations correspond to the permitted density and intensity ranges as listed in Table LU-1 of the Land Use Element.</p>	<p>The General Plan Land Use Map designates the Project Site as Single-Family Medium Residential (SFR-M) Intensity: 4-10 dwelling units per acre. The Specific Plan is a proposal for the development of 39 single family residential dwelling units on approximately 4.75 gross acres of land. The residential density for the proposed Project is 8.21 dwelling units per acre consistent with the General Plan land use designation of Single-Family Medium Residential (SFR-M): 4-10 dwelling units per acre.</p>
<p>Policy LU-1.5 Range of Housing Types and Densities. Provide high-quality housing in a range of types, densities, and unit sizes that meets the housing needs of residents of all income levels.</p>	<p>The proposed project is a Specific Plan to allow development of 39 single family residential dwellings in a variety of floor plans and architectural styles at a density of 8.21 dwelling units per acre designed with unit sizes to address the housing needs of first time buyers. The Project adds to the City's housing stock for first time buyers helping in the City's efforts to address the housing needs of all income levels. The Project is consistent with this policy.</p>
<p>Policy LU-2.3 Living Environment. Provide healthy, affordable and desirable living environments consistent with adopted code requirements that set forth the acceptable health and safety standards for the occupancy of housing.</p>	<p>Residential units developed as part of the proposed project will be constructed in conformance with all adopted building, health and safety code requirements. The Project is consistent with this policy.</p>
<p>Policy LU-4.1 Infill Development. Encourage mixed-use, infill development on brownfields or underutilized parcels, particularly near public transit and within the historic downtown.</p>	<p>The 4.75 acre Project Site is an underutilized infill site surrounded by built urban environment and served by existing infrastructure and roadways. The Project Site is the site of a former tennis facility which has been closed. The Project Site is currently unoccupied and has a General Plan land use designation of Single-Family Medium Residential (SFR-M): 4-10 dwelling units per acre. The Project is consistent with this policy.</p>

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<p>Policy LU-5.5 Pedestrian Safety. Encourage the creation of safe, walkable environments that include elements such as wide, smooth sidewalks, good lighting, safe crosswalks, clear signage, curb bulb-outs, curb cuts, street furniture, trees and traffic-calming measures which allow people of all ages and abilities to exercise and safely access public transportation, community centers, schools and goods and services.</p>	<p>The Project will include a simple two way loop street system with sidewalks adequately sized and lit to provide a safe walkable community offering pedestrian connectivity within the community and to 15th Street which allows for continued connectivity to Greenbelt Park located south of the Project Site and to general commercial centers located within the vicinity of the Project Site. The Project is consistent with this policy.</p>
<p>Policy LU-6.1 Quality Development. Ensure that development is attractive and promotes harmony in the visual relationships and transitions between newer and older buildings.</p>	<p>The Specific Plan includes design criteria to guide community and architectural design of the Project to create a distinctive, cohesive community that blends with and complements the surrounding built environment. The Specific Plan design criteria includes a comprehensive community landscape plan and architectural design concepts that work together to create interesting and attractive streetscenes with visual continuity. The Project is consistent with this policy.</p>
<p>Policy LU-6.2 Compatibility of Uses. Control the location, concentration and operations of land uses that have potential impacts on surrounding development through effective design principles, adequate buffering, and enforcement of regulatory documents.</p>	<p>The Specific Plan is a comprehensive plan controlling the pattern and operation of residential and open space land uses within the Project Site. The Specific Plan includes adequate buffering of new land uses to surrounding existing land use through project boundary landscaping and theme walls. The Project is served by an internal two way loop street system with one point of connection to 15th Street. The Specific Plan includes requirements for installation of infrastructure adequate to serve the Project and development standards to regulate building height and massing to conform to that of existing surrounding residential land use. The Project is consistent with this policy.</p>

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6.2 Community Character and Urban Design Element	
Policies	Specific Plan Consistency
<p>Policy CC-1.1 Small Town Scale. Support the maintenance and expansion of Upland’s existing character by requiring preservation of historic features, buildings, and landscaping while encouraging new development to complement the character, scale, and heritage of development in the community.</p>	<p>There are no known historic features or buildings within the Project Site. As part of the Project, three existing olive trees located adjacent to the 15th Street parkway will be removed and replacement trees at a ratio of 2:1 for a total of 6 trees will be planted within the Project Site as part of the comprehensive landscape plan for the Project.</p> <p>The proposed new development of 39 residential units at a density of 8.21 dwelling units per acre is complementary to the existing scale and character of the surrounding built environment and is designed to blend with and reflect the small town character of Upland. The Project is a single family detached residential community consistent with the existing single family residential character surrounding the Project Site.</p> <p>The Project incorporates the traditional housing styles of Upland, California, while also reflecting the architecture of recently built neighborhoods. The architectural styles of homes are influenced and inspired by Spanish, Italianate, and French Country that echo the classic architecture of the Southern Californian regions. The Project integrates styles, elements, and a mix of materials from both established and newer residential communities located near the Project Site.</p> <p>Homes will not exceed two stories in height and will have a variety of floor plans and architectural styles plotted to create a varied streetscene. Materials and details on homes will be in keeping with the character of each architectural style. The proposed residential component of the Project is designed around a simple two way loop street system with common area open space distributed throughout the Project. The Project is consistent with this policy.</p>

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<p>Policy CC-1.2 Community Identity. Cultivate a greater sense of community identity and recognizable community focal points, centers, districts, and gateways.</p>	<p>The proposed project is designed to create a distinctive sense of place for residents as a “walkable” community with a pedestrian friendly street system and common area open space provided throughout the community creating an atmosphere where neighbors can visit with one another while walking or utilizing the recreational amenities within the common area open space. Residences are planned to front onto streets, enabling residents to have their “eyes on the street,” promoting a safe hometown feel and encouraging interaction among neighbors. The Specific Plan sets forth requirements for a distinctive community design through construction of an enhanced Community Entry and streetscapes, walls, and entry monuments creating a sense of arrival to the community, architectural diversity in residential design, landscaped walkways, and on site common area open space for neighborhood gatherings, all of which combined create a sense of place for residents. The Project is consistent with this policy.</p>
<p>Policy CC-1.3 Place Making. Ensure that existing and proposed buildings, structures, infrastructure, landscaping, lighting, and signage contribute to the image of the City as a place of high quality and positive value.</p>	<p>Development standards contained in the Specific Plan require uniform and high quality design of residential dwellings, the installation of infrastructure adequate to serve the community, comprehensive and cohesive landscaping for the community to include shade trees, shrubs, and groundcover, requirements that a master sign program be approved by the City, and lighting regulations to ensure uniformity of fixture design and placement along streets and within common area open space. The Project is consistent with this policy.</p>
<p>Policy CC-1.4 Contextual Design Themes. Encourage new development to incorporate similar design themes to those existing within the project area to ensure buildings, when seen together, create recognizable districts and corridors.</p>	<p>The Project incorporates a community design creating a distinctive sense of place for the community similar in scale to the existing single family residential land use surrounding the Project Site. Homes will not exceed two stories in height and will have a variety of floor plans and architectural styles plotted to create an interesting streetscene. Materials and details on homes will be in keeping with the character of each architectural style. The proposed residential component of the Project is designed around a simple two way loop street system with common area open space distributed throughout the Project. The Project is consistent with this policy.</p>

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<p>Policy CC-1.5 Human Scale Roadways. Maintain narrow streets that provide multi-modal circulation mobility without dominating the streetscape.</p>	<p>The Project is designed with a simple two way loop street system with sidewalks providing pedestrian connectivity within the community, to the public park located southeast of the Project Site, and to general commercial centers located within the vicinity of the Project Site. Streets are designed with a total curb to curb width of between 26 to 28 feet to accommodate safe vehicular travel as well as on street bicycle and pedestrian travel. The Project is consistent with this policy.</p>
<p>Policy CC-1.6 View Protection. Direct private development to enhance public view corridors of the San Gabriel Mountains, where feasible. These views are an integral part of the City’s geographic space and provide a unique sense of place for Upland as a foothill community.</p>	<p>Structures within the proposed project are limited to a maximum height of two stories or 30 feet. The proposed project will not block any public view corridors of the San Gabriel Mountains. The Project is consistent with this policy.</p>
<p>Policy CC-2.1 Protect Established Neighborhoods. Preserve, protect and enhance established neighborhoods by providing sensitive transitions between these neighborhoods and adjoining areas, supporting the maintenance and improvement of properties and buildings and infrastructure, and requiring new development, both private and public, to respect and respond to those existing physical characteristics – buildings, streetscapes, open spaces and urban form – that contribute to the overall character and livability of each neighborhood.</p>	<p>The proposed project of 39 residential units at a density of 8.21 dwelling units per acre is complementary to the existing scale and character of the surrounding built environment and provides a compatible transition between existing neighborhoods and the proposed community of Spanish Trails. Adequate buffering between existing neighborhoods and the proposed project is provided with walls and landscaping. Where residential lots abut adjacent existing residences on the east, a 20 foot wide rear yard will be provided. The Project is a single family detached residential community consistent with the existing single family residential character surrounding the Project Site. Homes will not exceed two stories in height and will have a variety of floor plans and architectural styles plotted to create a varied street-scene. The Project is consistent with this policy.</p>
<p>Policy CC-2.2 Complete Neighborhoods. Promote the design and development of neighborhoods whose physical layout and land use mix promote walking, biking and transit use; provide housing and access to nearby employment, retail and service uses; foster community pride; provide access to recreational amenities; enhance neighborhood identity; and are safe, family friendly and address the needs of all ages and abilities.</p>	<p>The Specific Plan includes the development of a street and sidewalk system providing a unifying element for the community and pedestrian and bicycle connectivity with the community. Pedestrian and bicycle accessibility will be provided through Project streets and walkways connecting to 15th Street. From 15th Street bicyclists and pedestrians can continue on existing streets and sidewalks to Greenbelt Park located to the south of the Project Site and to general retail commercial services located at Mountain Avenue and 16th Street approximately .8 miles away and along Foothill Boulevard near Euclid Avenue approximately 2.3 miles away. The Project is consistent with this policy.</p>

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<p>Policy CC-2.5 Neighborhood Amenities. Encourage appropriately scaled community-supportive facilities and services within all neighborhoods to enhance neighborhood identity and provide convenient access within walking and biking distance of residents.</p>	<p>Approximately .355 acres (15,474 square feet) of private passive open space is provided as part of the Project to include a centrally located park improved with picnic tables, barbeque facilities, a basketball court, exercise station, children’s play area, and benches. This park will provide residents with an inviting environment for informal gathering and a place to meet and greet each other as part of leisurely walks through the community. Two informal pocket parks are to be improved with landscaping and benches to provide additional passive recreational areas for residents. The pedestrian walkway system and two way loop street system for the Project are designed to provide safe and convenient pedestrian and bicycle accessibility to Project open space. The Project is consistent with this policy.</p>
<p>Policy CC-2.6 Neighborhood Enhancement. Promote infill development, redevelopment, rehabilitation, and reuse efforts that contribute positively (e.g., site layout and architectural design) to existing neighborhoods and surrounding uses.</p>	<p>The Project Site is an infill site surrounded by existing single family residential use and public parks and is proposed for redevelopment as a new residential community. The Project Site has historically been used as a public tennis facility and is improved with tennis courts, a clubhouse and a parking lot. Use of the Project Site as a tennis club has ceased and redevelopment of the Project Site has been authorized by the property owner. The proposed project is designed to positively contribute to the quality of the existing surrounding residential neighborhoods. The proposed project is designed around a simple two way loop street system with common area open space distributed throughout the Project. Homes will not exceed two stories in height and will have a variety of floor plans and architectural styles plotted to create a varied streetscene. Materials and details on homes will be in keeping with the character of each architectural style. The Project is consistent with this policy.</p>
<p>Policy CC-2.7 Neighborhood Branding. Support the development of neighborhood “branding” or identification so that particular neighborhoods can be recognized through naming, signage, gateways, etc.</p>	<p>The identity for the proposed Spanish Trails community will be established through the construction of an enhanced and distinctive entry to include monument signage, landscaping, and lighting reflecting the theme of Spanish Trails. The Project is consistent with this policy.</p>
<p>Policy CC-2.9 Infill Development. Require infill development to be compatible with surrounding uses and to equal or exceed the quality of adjacent development.</p>	<p>The proposed project is designed to be compatible with the existing surrounding residential land use. The proposed project is designed around a simple two way loop street system with common area open space distributed throughout the Project. Vehicular access to the Project will be from one entry on 15th Street. Homes will not exceed two stories in height and will have a variety of floor plans and architectural styles plotted to create a varied streetscene. Materials and details on homes will be in keeping with the character of each architectural style. The Project will include common area open space throughout the community within walking and biking distance to residential dwellings. The Project is consistent with this policy.</p>

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Policy CC-5.1 Site Design Principles.

Require new development projects to adhere to the basic principles of high-quality site design as set forth below, elsewhere in the General Plan, zoning and development standards, and any additional design guidelines adopted by the City. Basic principles include:

- a. **Buffers.** Encourage buffers between uses that are incompatible in design and/or operations, including, but not limited to, areas in the southwest and southeast portions of the City where industrial and residential land uses intermix.
- b. **Edges.** Ensure that buildings, trees or other architectural features provide edges and definition to the street to enhance the vitality and improve the feeling of safety and security in urbanized areas, especially in areas with high pedestrian traffic.
- c. **Building Siting.** Encourage new developments to bring buildings closer to the street as appropriate to create a more intimate and comfortable pedestrian environment.
- d. **Varied Setbacks.** Encourage varying setbacks, according to the existing character or context of the neighborhood, to provide visual interest, opportunities for transitional landscaping, and varying shadow patterns.

The Specific Plan includes adequate buffering of new land uses to surrounding existing land use through project boundary landscaping and theme walls. The Specific Plan sets forth requirements for a distinctive community design through construction of an enhanced Community Entry and streetscapes, walls, and entry monuments creating a sense of arrival to the community, architectural diversity in residential design, landscaped walkways, and on site common area open space for neighborhood gatherings, all of which combined create a sense of place for residents.

Residences are planned to front onto streets, enabling residents to have their “eyes on the street,” promoting a safe hometown feel and encouraging interaction among neighbors. Varied floor plans and architectural styles combine to provide visual interest in the streetscape. The Project will include common area open space throughout the community within walking and biking distance to residential dwellings.

The Specific Plan includes a master wall and fence plan designating approved locations for all walls and fences, a uniform design for all walls and fences, and the approved materials for each type of wall and fence. All walls and fences will be constructed of high quality materials that complement the architectural styles established for the Project.

The Project is consistent with this policy.

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Policy CC-5.1 Site Design Principles. (cont.)

- e. Green Space. Provide adequate green space by ensuring new development and redevelopment includes appropriate green spaces, such as parkways, community squares, parks, rooftop gardens, and plazas that complement the architecture of the development.
- f. Landscaping. Promote high-quality landscape design and maintenance to soften buildings, parking lots, and hardscape with specific emphasis on a “California friendly” plant palette.
- g. Pedestrian Elements. Promote the use of elements such as special paving materials, landscaping, pedestrian-scaled lighting and seating along pedestrian paths and walkways to encourage pedestrian use.
- h. Walls and Fencing. Walls and fencing should be limited to providing privacy in side and rear yards and providing screening of non-residential utility areas to preserve the sense of a safe and inviting community. Where they are allowed, walls and fencing should be built of high quality materials that match and complement the architectural style of buildings on the property and provide visual relief through the use of a mixture of materials, landscaping, walkways and greenbelts. Additional landscape areas between sound walls, garden walls, and fencing and rights-of-way should be provided to mitigate the height and visual barrier of walls per the Zoning Code.

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Policy CC-5.2 Building Design

Principles. Require new development projects to adhere to the basic principles of high-quality building design as set forth below, elsewhere in the General Plan, and in any additional design guidelines adopted by the City. Basic principles include:

- a. High-Quality Development. Require new buildings to be of high architectural design and construction quality, including a high degree of articulation for visual interest, and attention to detail in both design and construction within the context of a building's location.
- b. Sustainable Development. Require building owners and developers to integrate green initiatives into their buildings, such as recycled materials, California friendly landscaping, energy efficient devices and water conservation technologies.
- c. Architectural Style for Non-Historic Areas. Require new developments to adhere to the predominant architectural style of buildings in the vicinity, where one is apparent, while encouraging variation in design elements; where there is not a strong architectural style, new styles may be appropriate.
- f. Single-Family Residential Compatibility. Require that new single-family housing in established neighborhoods be designed to be compatible in scale with other homes in the immediate neighborhood.
- g. Single-Family Residential Additions. Require that additions to existing single-family housing be developed in the same style.

The Project proposes three distinctive residential architectural styles in three different floor plans. Details and materials of homes will be true to the architectural style designated for the home. The plotting plan for each style and floor plan will be varied in order to provide visual interest in the streetscene.

The Specific Plan includes green and sustainable development requirements for the Project including the use of a drought tolerant plant palette in landscaped areas, installation of energy efficient fixtures and appliances in homes, design of homes to allow for passive solar energy utilizing materials such as cool roofs, dual pane windows, and increased insulation to minimize heat transfer and thermal bridging, and orientation and design of roofs to allow for homeowner installation of solar energy equipment. Homes will be designed to offer opportunities for home offices and installation of technology to homes providing internet access for shopping and working online.

The proposed project at a density of 8.21 dwelling units per acre is complementary to the existing scale and character of the surrounding built environment and provides a compatible transition between existing neighborhoods and the proposed community of Spanish Trails. The Project is a single family detached residential community consistent with the existing single family residential character surrounding the Project Site. Homes will not exceed two stories in height and will have a variety of floor plans and architectural styles plotted to create a varied street-scene. Residences are planned to front onto streets, enabling residents to have their "eyes on the street," promoting a safe hometown feel and encouraging interaction among neighbors. Varied floor plans and architectural styles combine to provide visual interest in the streetscape. Garage widths are limited to two car spaces to minimize the view of garages from the street. Building design incorporates the stepping back of building facades, front elevation articulation, porches and deep front entries, and detail such as balconies, shutters and pot shelves to break up building mass and create visual interest along the street.

The Project is consistent with this policy.

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Policy CC-5.2 Building Design Principles. (cont.)

- h. Building Articulation. Ensure that the exterior on all sides of a building are varied and articulated to provide visual interest to its surroundings
- i. Variety of Size and Scale. Encourage new developments to contain a variety of lot and dwelling sizes and scales. Some lots may be designed to accommodate one-story houses, which generally require greater lot width to avoid front elevations of houses that are dominated by garages.
- j. Upper Story Setbacks. Encourage multiple-story buildings to step the building back from the street edge at upper levels to allow sunlight into the street and create visual interest.
- k. Building Entrances. Encourage building entrances to be oriented toward a public street, serve as primary pedestrian entrances to a business, and include architectural features that give them prominence.
- l. Garage Design. Ensure garages for new single-family houses, duplexes, and townhouses are visually subordinate in importance to the house itself, especially the entry. This can be achieved by locating garages toward the back of properties, limiting the width of the garage to two car spaces, building garages as separate structures from the house, requiring garages to be set back from the front facade of the house, and encouraging the orientation of garage doors at 90 degrees to the street.

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<p>Policy CC-7.1 Safety. Encourage the creation of safe, walkable environments that include elements such as wide, smooth sidewalks, good lighting, safe crosswalks, clear signage, curb bulb-outs, curb cuts, street furniture, trees and traffic-calming measures, which allow people of all ages and abilities to exercise and safely access public transportation, community centers, schools, and services.</p>	<p>The proposed project includes the development of a street and sidewalk system providing a unifying element for the community and pedestrian connectivity within the community and to existing sidewalks in 15th Street. Sidewalks will be new and safely lit with street lights and low level pedestrian lighting will be provided within the common open space area. From 15th Street pedestrians can continue on existing sidewalks to Greenbelt Park located to the south of the Project Site and to general retail commercial services located at Mountain Avenue and 16th Street approximately .8 miles away and along Foothill Boulevard near Euclid Avenue approximately 2.3 miles away. The Project is consistent with this policy.</p>
<p>Policy CC-7.2 Connectivity. Require new development to incorporate sufficient, attractive and well marked pedestrian and vehicle connections that link to the adjacent streets and pedestrian network.</p>	<p>The proposed project includes the development of a simple two way loop street system with a single point of vehicular access at 15th Street. The Project street system includes a network of walkways providing pedestrian connectivity to 15th Street and the existing sidewalks in 15th Street. The Project is consistent with this policy.</p>
<p>Policy CC-7.3 Upland Grid Pattern. Reinforce and extend the traditional grid pattern in new developments that create new roadways. Promote short residential block lengths, typically no more than 400 feet, to create a street pattern that allows for multiple routes through a neighborhood and greater opportunities for pedestrian activity.</p>	<p>The proposed project includes the development of a simple two way loop street system with blocks of approximately 400 feet in length. The loop street pattern resembles a modified grid street with streets intersecting on a curve rather than a full T or 4 way intersection. The Project is consistent with this policy.</p>
<p>Policy CC-7.4 Gated Communities. Discourage the construction of new gated communities or walls surrounding individual projects (i.e. a single developer or builder) for infill development.</p>	<p>The proposed project will not be gated. The Project Site has existing walls around three sides of the Site which are planned to be retained as part of the development. A single new wall to complete a length of existing wall on the easterly side of the Project Site and the community monument wall along 15th Street are the only new walls proposed. The Project is consistent with this policy.</p>
<p>Policy CC-7.6 Street Trees. Encourage street trees to be planted in linear planting beds rather than tree wells, in order to support long-living healthy trees, except within Downtown Upland where tree wells are more conducive to urban environments.</p>	<p>The landscape plan for the Project includes the planting of street trees within parkways and residential front yards. The Project is consistent with this policy.</p>

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<p>Policy CC-8.1 Streetscape Features. Enhance the streetscapes along corridors with shade trees, street furniture, pedestrian lighting and other features that improve the pedestrian realm.</p>	<p>The landscape plan for the Project includes the use of shade trees along streets and within the common area open space. Off street pedestrian walkways will be lit with low level pedestrian lighting and park furniture may be placed along the walkway through the common area open space. The Project is consistent with this policy.</p>
<p>Policy CC-8.2 Streetscape Consistency. Ensure consistent streetscapes in specific areas of the City to create a sense of place within neighborhoods and districts.</p>	<p>The landscape plan for the Project includes a cohesive and unified street scape plan utilizing shade trees, shrubs, and ground-cover planted at consistent intervals and organized by size and type of plant. The streetscape plan for the Project is integral to the community design of Spanish Trails and is designed to instill a sense of place for residents. The Project is consistent with this policy.</p>
<p>Policy CC-8.3 Street Tree Canopy. Maintain street trees in the public right-of-way as an essential aesthetic and functional (i.e., shade) component of the community in accordance with the Conservation and Open Space Element.</p>	<p>As part of the Project, three existing olive trees adjacent to the parkway along the 15th Street right of way will be removed pursuant to the recommendations of a City approved arborist report. As part of the Project, new trees will be planted at a ratio of 2:1 for a total of 6 trees within the Project Site in conformance with the Project landscape plan. The Project is consistent with this policy.</p>
<h3>6.3 Economic Sustainability Element</h3>	
<p>Policies</p>	<p>Specific Plan Consistency</p>
<p>Policy ES-4.4 New Development, Zoning, and Policy. Consider fiscal and economic sustainability as one of a number of citywide goals when evaluating new development, zoning or public policy.</p>	<p>The Project will be responsible for the construction of all infrastructure necessary to serve the Project, and the developer will participate in the payment of applicable Development Impact Fees for public services. The Project is consistent with this policy.</p>
<h3>6.4 Circulation Element</h3>	
<p>Policies</p>	<p>Specific Plan Consistency</p>
<p>Policy CIR-1.7 Driveway Access Points. Require that driveway access points onto arterial roadways be minimized and located to ensure the smooth and safe flow of vehicles and bicycles.</p>	<p>The Project proposes a single vehicular access point at 15th Street to serve the community. Emergency vehicle access from 15th Street will be provided at two locations. The Project is consistent with this policy.</p>

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<p>Policy CIR-2.6 Accessible Transit. Provide pedestrian access to all transit facilities and maintain pedestrian facilities that are safe, attractive, and well lit.</p>	<p>The proposed project includes the development of a street and sidewalk system providing pedestrian connectivity within the community and to existing sidewalks in 15th Street. Sidewalks will be new and safely lit with street lights and low level pedestrian lighting will be provided within the common open space area. From 15th Street pedestrians can continue on existing sidewalks to existing transit stops located along 15th Street, near Mountain Avenue and 16th Street approximately .8 miles away and near Foothill Boulevard near Euclid Avenue approximately 2.3 miles away. The Project is consistent with this policy.</p>
<p>Policy CIR-3.1 Connected Roadway Network. Require future development or redevelopment to implement local street networks which allow travel by all modes and ensure connectivity with the larger City-wide roadway network.</p>	<p>The proposed project includes the development of a simple two way loop street system with a single point of vehicular access at 15th Street. The Project street system includes a network of walkways providing pedestrian connectivity to 15th Street and the existing sidewalks in 15th Street. The Project street system is designed to accommodate on street bicycle travel to connect with 15th Street and the existing bike route on Benson Avenue. The Project is consistent with this policy</p>
<p>Policy CIR-3.2 Complete Streets Roadway Standards. Require that pedestrian, vehicular, and bicycle circulation on both public and private property be coordinated and designed to maximize safety, comfort and aesthetics while maintaining consistency with applicable Federal, State, and San Bernardino legislation and requirements.</p>	<p>The pedestrian, vehicular and bicycle circulation plan proposed for the Project has been designed to comply with City standards and will comply with applicable Federal, State and San Bernardino legislation and requirements. The Project is consistent with this policy.</p>

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6.5 Open Space and Conservation Element	
Policies	Specific Plan Consistency
<p>Policy OSC-1.5 New Development. Encourage new development to preserve on-site natural elements and incorporate low impact development techniques</p>	<p>As part of the Project the developer will remove three existing olive trees located adjacent to the parkway along 15th Street. According to the arborist report prepared as part of the Project Mitigated Negative Declaration, all of the olive trees are large, mature, and multi-trunked. All have been topped and have additional mechanical or lightning damage and some have structural damage to their trunks. Since the olive trees will be affected by the proposed development the arborist report does not recommend transplanting of the trees. The City has required that the Project provide tree replacement plantings of 2 trees for each olive tree removed for a total of 6 trees. The replacement trees will be located within the Project consistent with the Project conceptual landscape plan included as part of the Specific Plan. The site is a developed site, and there are no other on-site natural elements suitable for preservation. The Project is consistent with this policy.</p>
<p>Policy OSC-1.7 Dark Sky Protection. Promote shielded, dark-sky friendly lighting for Upland’s outdoor lighting needs in order to reduce light pollution and glare; increase energy efficiency; protect wildlife; and promote better health.</p>	<p>The Specific Plan requires the use of “dark sky” lighting fixtures in streets and common areas. The Project is consistent with this policy.</p>
<p>Policy OSC-2.1 Street Tree Canopy. Maintain the City’s tree-lined streets as an integral component of the City’s character by replacing parkway and median trees in conjunction with public and private projects.</p>	<p>As part of the Project, three existing olive trees adjacent to the parkway along the 15th Street right of way will be removed. According to the arborist report prepared as part of the Project Mitigated Negative Declaration, all of the olive trees are large, mature, and multi-trunked. All have been topped and have additional mechanical or lightning damage and some have structural damage to their trunks. Since the olive trees will be affected by the proposed development the arborist report does not recommend transplanting of the trees. The City has required that the Project provide tree replacement plantings of 2 trees for each olive tree removed for a total of 6 trees. The replacement trees will be located within the Project consistent with the Project conceptual landscape plan included as part of the Specific Plan. The Project is consistent with this policy.</p>
<p>Policy OSC-2.2 Streetscapes. Maintain the City’s landscaped parkways and medians as aesthetic buffers that improve the appearance of the community.</p>	<p>Refer to Consistency statement for Policy OSC-2.1.</p>

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<p>Policy OSC-2.3 California-Friendly Species. Encourage new and existing public and private development to incorporate California-friendly and drought-tolerant vegetation into landscape plans to reduce water demand.</p>	<p>The Specific Plan includes a plant palette for the Project which emphasizes California friendly and drought tolerant plant materials in all landscaping within the community. The Project is consistent with this policy.</p>
<p>Policy OSC-2.4 Invasive Species. Prohibit the use of plant species known to be invasive according to the California Invasive Plant Inventory. Introduction or spread of invasive plant species during construction of development projects shall be avoided by minimizing surface disturbance; seeding and mulching disturbed areas with certified weed-free native mixes; and using California-friendly, noninvasive species in erosion control plantings.</p>	<p>The Specific Plan includes a plant palette that avoids the known invasive plant species. The Project is consistent with this policy.</p>
<p>Policy OSC-2.5 Shade Trees. Prioritize the planting of large street tree species (greater to or equal to 50 feet in height) over smaller species to facilitate a larger canopy of trees that will serve to reduce the heat island effect, lower energy costs, sequester carbon dioxide in the atmosphere, reduce stormwater runoff, and increase water retention and water quality.</p>	<p>The landscape plan for the Project includes the use of shade trees along streets and within the common area open space. The Project is consistent with this policy.</p>
<p>Policy OSC-3.5 Quimby Act. Continue to require residential subdivisions to provide at least 3 acres of parkland per 1,000 residents or pay an in-lieu fee or some combination thereof, pursuant to Section 66477 of the California Government Code (the Quimby Act).</p>	<p>The Project will provide approximately .355 acres (15,474 square feet) of common area open space within the community. The Project will meet the City's Quimby Act requirements through payment of a fee or combination of fee payment and contribution of private open space. The Project is consistent with this policy.</p>
<p>Policy OSC-3.15 California Friendly Plant Species. When feasible, utilize California friendly noninvasive plants for landscaping park and recreational facilities.</p>	<p>The Specific Plan includes a plant palette for the Project which emphasizes California friendly and drought tolerant plant materials in all landscaping area and the common area open space within the community. The Project is consistent with this policy.</p>

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<p>Policy OSC-3.16 Stormwater Management. Integrate low impact development techniques that retain natural features for stormwater management to the greatest extent possible for all parks facilities.</p>	<p>No natural drainage features on site will be retained; but will be improved upon redevelopment of the Project Site. The Project is consistent with this policy.</p>
<p>Policy OSC-3.17 Trees. Maintain or plant trees where appropriate to provide shade, absorb carbon, reduce the heat island effect and reduce cooling loads in shaded buildings.</p>	<p>The landscape plan for the Project includes the use of shade trees along streets, within the common area open space, and will be recommended to residents for use within residential yards. The Project is consistent with this policy.</p>
<p>Policy OSC-3.18 Development Impact Fees. Require new development to dedicate land or pay in-lieu fees to maintain park standards through the Park Acquisition and Development Impact Fee.</p>	<p>The Project will provide approximately .355 acres (15,474 square feet) of common area open space within the community. The Project will either pay the full Park Acquisition and Development Impact Fee or provide a combination of fee payment and private open space. The Project is consistent with this policy.</p>
<p>Policy OSC-4.1 Land Use Patterns. Promote land use patterns that reduce the number and length of motor vehicle trips.</p>	<p>The Specific Plan proposes a land use pattern served by a new roadway system that provides for pedestrian and bicycle mobility within the Project Site and to existing commercial and recreational facilities within the vicinity of the Project Site. The proposed plan connects to existing circulation and transportation facilities reducing the need for construction of additional arterial and major roadway extensions or improvements to serve the Project Site. The Project street system includes a network of walkways providing pedestrian connectivity to 15th Street and the existing sidewalks in 15th Street. The Project street system is designed to accommodate on street bicycle travel to connect with 15th Street and the existing bike route on Benson Avenue. The proximity of the Project Site within walking and biking distance to existing recreational and commercial facilities can help to reduce automobile trips to and from the Project Site. The Project is consistent with this policy.</p>
<p>Policy OSC-4.11 New Development. Review proposed development projects as required by CEQA to ensure projects incorporate feasible measures that reduce construction and operational emissions for reactive organic gases, nitrogen oxides, and particulate matter (PM¹⁰ and PM^{2.5}) through project design.</p>	<p>As part of the Project a Mitigated Negative Declaration will be prepared pursuant to the requirements of CEQA evaluating all environmental impacts of the proposed Project and will be reviewed by the City. The Project is consistent with this policy.</p>

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<p>Policy OSC-4.13 Best Management Practices. Require best management practices to reduce air pollution associated with construction of development projects.</p>	<p>The Project will incorporate SWPP and Erosion Control measures to control dust during construction. Construction vehicles will be required to use clean burning diesel fuel. The Project is consistent with this policy.</p>
<p>Policy OSC-4.14 Construction Mitigation. Review construction plans associated with development projects to determine if all feasible mitigation measures are included.</p>	<p>Construction plans for the Project will incorporate all mitigation measures recommended by the Mitigated Negative Declaration prepared for the Project and adopted by the City. The Project is consistent with this policy.</p>
<p>Policy OSC-4.15 Green Building Practices. Promote green building practices that support healthy indoor living and working environments that are well-ventilated and contaminant-free.</p>	<p>The Project will incorporate all green building practices required by the California Green Building Code applicable to the Project. The Project is consistent with this policy.</p>
<p>Policy OSC-5.2 Greenhouse Gas Reduction in New Development. Reduce greenhouse gas emissions from new development by promoting water conservation and recycling; promoting development that is compact, mixed use, pedestrian friendly, and transit oriented; promoting energy-efficient building design and site planning; improving the jobs/housing ratio; and other methods of reducing emissions.</p>	<p>The project will implement a variety of measures that will reduce its GHG emissions. To the extent feasible, and to the satisfaction of the City, the following measures will be incorporated into the design and construction of the project:</p> <p>Construction and Building Materials.</p> <ol style="list-style-type: none"> a. Use of locally produced and/or manufactured building materials for at least 10 percent of the construction materials used for the project. b. Recycle/reuse of at least 50 percent of the demolished and/or grubbed construction materials (including, but not limited to, soil, vegetation, concrete, lumber, metal, and cardboard) if feasible. c. Use of “Green Building Materials,” such as those materials that are resource-efficient and are recycled and manufactured in an environmentally friendly way, for at least 10 percent of the project.

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<p>Policy OSC-5.2 Greenhouse Gas Reduction in New Development. (cont.)</p>	<p>Energy Efficiency Measures.</p> <ol style="list-style-type: none"> a. Design of all project buildings to meet or exceed the California Building Code’s (CBC) Title 24 energy standard, including, but not limited to, any combination of the following: b. Increased insulation such that heat transfer and thermal bridging is minimized; c. Limiting air leakage through the structure or within the heating and cooling distribution system to minimize energy consumption; and d. Incorporating ENERGY STAR or better rated windows, space heating and cooling equipment, light fixtures, appliances, or other applicable electrical equipment. e. Install efficient lighting and lighting control systems. Use daylight as an integral part of the lighting systems in buildings. f. Installation of “cool” roofs and cool pavements. g. Installation of energy-efficient heating and cooling systems, appliances and equipment, and control systems. Install solar lights or light-emitting diodes (LEDs) for outdoor lighting or outdoor lighting that meets the City Code. <p>The Project is consistent with this policy.</p>
<p>Policy OSC-5.4 CEQA Review. Evaluate greenhouse gas emission impacts from proposed development projects as required by the California Environmental Quality Act.</p>	<p>As part of the Project a Mitigated Negative Declaration will be prepared pursuant to the requirements of CEQA evaluating all environmental impacts of the proposed Project and will be reviewed by the City. The Project is consistent with this policy.</p>
<p>Policy OSC-5.5 Emissions Reductions. Require development projects that exceed AQMD ROG and NOX operational thresholds to incorporate design or operational features that reduce emissions equal to 15 percent from the level that would be produced by an unmitigated project.</p>	<p>As part of the Project a Mitigated Negative Declaration will be prepared pursuant to the requirements of CEQA evaluating all environmental impacts of the proposed Project and will be reviewed by the City. As part of the CEQA review, an air quality analysis will be performed. In the event the Projects exceeds AQMD ROG and NOX operational thresholds, the Mitigated Negative Declaration will identify any design measures that could be incorporated into the Project to reduce emissions The Project is consistent with this policy.</p>
<p>Policy OSC-5.11 Minimum Green Building Standards. Require new development to comply with the California Green Building Code (CalGreen) adopted by the California Building Standards Commission at the time of building permit application.</p>	<p>The proposed Project will incorporate all green building practices required by the California Green Building Code that are applicable to the Project and will incorporate energy efficient design measures as described in the consistency statement for Policy OSC-5.2. The Project is consistent with this policy.</p>

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<p>Policy OSC-6.2 New Development. Encourage solar-oriented design and passive solar heating and cooling in all new residential, commercial and civic development.</p>	<p>The proposed project will be constructed with passive solar energy design and energy efficient materials as described in the consistency statement for Policy OSC-5.2. The Project is consistent with this policy.</p>
<p>Policy OSC-6.4 Deciduous Trees. Require that deciduous trees be planted on the south and west facing sides of new buildings onsite to reduce energy use in the summer and winter months.</p>	<p>The plant palette for the Project includes the use of deciduous trees. The precise landscape and irrigation plan submitted for City approval will assign locations for deciduous trees appropriately. The Project is consistent with this policy.</p>
<h3 style="color: #0070C0;">6.6 Public Services and Facilities Element</h3>	
<p>Policies</p>	<p>Specific Plan Consistency</p>
<p>Policy PFS-1.2 Growth and Level of Service. Require new development to provide adequate facilities or pay its fair share of the cost for facilities needed to provide services to accommodate growth without adversely impacting current service levels.</p>	<p>The Specific Plan requires that adequate infrastructure be constructed to serve the Project and that the Project developer pay applicable adopted Development Impact Fees as part of Project implementation. The Project is consistent with this policy.</p>
<p>Policy PFS-1.8 Underground Utilities. Encourage undergrounding of all existing and new publicly owned utility lines, encourage undergrounding of all privately owned utility lines in new developments, and work with electricity and telecommunications providers to underground or minimize the visual impacts of existing overhead lines.</p>	<p>All new and existing public utility distribution lines of 34.5 kV or less shall be subsurface throughout the Project. The Project is consistent with this policy.</p>
<p>Policy PFS-2.9 Development Review Process. Identify and mitigate fire hazards through the</p>	<p>Project construction plans will incorporate all Fire Department requirements identified as part of Development Plan Review of the Project. The Project is consistent with this policy.</p>
<p>Policy PFS-2.10 Fire Prevention. Require new development to incorporate adequate emergency water flow, fire resistant design and materials, early warning systems and evacuation routes.</p>	<p>The proposed land use plan for the Project includes designated emergency vehicle access points to the Project Site. The water master plan for the Project identifies adequate water facilities for fire protection purposes. Building construction will incorporate fire resistant design and materials consistent with the California Building Code and Fire Code requirements. The Project is consistent with this policy.</p>
<p>Policy PFS-2.11 Emergency Vehicle Access. Require new development to be accessible to emergency vehicles and to not impede the ability of service providers to provide adequate emergency response.</p>	<p>The proposed land use plan for the Project includes designated emergency vehicle access points to the Project Site. The Project is consistent with this policy.</p>

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<p>Policy PFS-2.12 Public and Private Roadways. Ensure that new public and private roadways are adequate in terms of width, radius and grade to accommodate fire-fighting apparatus, while maintaining Upland’s neighborhoods and small-town character.</p>	<p>Roadways within the Project will conform to Fire Department requirements for access and fire fighting purposes. The Project is consistent with this policy.</p>
<p>Policy PFS-9.1 Best Management Practices. Require new development projects to adopt best management practices for water use efficiency and demonstrate specific water conservation measures.</p>	<p>The Specific Plan includes requirements that builder-installed indoor appliances, including dishwashers, showers and toilets, shall be low-water use in compliance with the adopted California Building Code; drought-tolerant and/or native landscaping materials shall be used in all public and common areas to reduce water consumption; Smart Controller irrigation systems shall be installed in all public and common area landscaping; and landscape areas shall be designed on a “hydro zone” basis to group plants according to their water and sun requirements. The Project is consistent with this policy.</p>
<p>Policy PFS-9.4 Purple Pipe System. Review new development projects to determine which are appropriate for recycled water piping systems (“purple pipe”) and require these projects to incorporate dual potable and recycled water facilities into their design.</p>	<p>The City has not required that the Project incorporate dual potable and recycled water facilities into Project design. The Project is consistent with this policy.</p>
<p>Policy PFS-10.2 Connection to Wastewater System. Require all new development located within the City limits to connect to the public wastewater collection system.</p>	<p>As part of the Project new sewer mains will be constructed to serve the Project designed to connect to existing public sewer mains located in 15th Street. The Project is consistent with this policy.</p>
<p>Policy PFS-10.5 New Facilities. Construct new wastewater conveyance facilities as needed.</p>	<p>Refer to consistency statement for Policy PFS-10.2 The Project is consistent with this policy.</p>
<p>Policy PFS-10.6 New Development. Grant conditional approval of new development on the availability of sufficient capacity in the wastewater collection and treatment system to serve the project. Hold individual development projects responsible for their fair share of upgrades.</p>	<p>Refer to consistency statement for Policy PFS-10.2. No upgrades to existing public wastewater facilities are required to accommodate the Project. The Project is consistent with this policy.</p>

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<p>Policy PFS-11.2 New Development. Require new development to protect the quality of water bodies and natural drainage systems through site design, source controls, stormwater treatment, runoff reduction measures, best management practices (BMPs), Low Impact Development (LID), and hydromodification strategies consistent with the City’s NPDES Permit.</p>	<p>As part of the Project, LID BMPs will be implemented throughout the site to maintain water quality standards. The BMPs will consist of retention and infiltration on-site. There are no natural drainage systems existing on the Project Site that will remain as part of development of the Project Site. The Project is consistent with this policy.</p>
<p>Policy PFS-11.3 No Net Increase. Require all new development to contribute no net increase in stormwater runoff peak flows over existing conditions associated with a 100-year storm event.</p>	<p>The Project will not contribute a net increase in stormwater runoff peak flows over existing conditions associated with a 100 year storm event. The Project is consistent with this policy.</p>
<p>Policy PFS-11.4 Post-Development Runoff. Require controlling the volume, frequency, duration, and peak flow rates and velocities of runoff from development projects to prevent or reduce downstream erosion and protect stream habitat.</p>	<p>Runoff from the proposed project can be accommodated within existing public storm water collection facilities. The Project is consistent with this policy.</p>
<p>Policy PFS-13.2 Watershed Drainage Plans. Require developers to prepare watershed drainage plans for proposed developments that define needed drainage improvements per City standards, estimate construction costs for these improvements, and comply with the City’s National Pollutant Discharge Elimination System (NPDES).</p>	<p>A drainage study will be prepared for the Project to determine peak flows. Pursuant to the recommendations of the study, appropriate drainage improvements will be designed and implemented for the Project according to City Standards, and in compliance with the NPDES. The Project is consistent with this policy.</p>

6.7 Healthy Community Element

Policies	Specific Plan Consistency
<p>Policy HC-1.2 Complete Neighborhoods. Encourage new development to create complete neighborhoods and districts where residents can live within an easy and safe walking distance to daily services, recreational opportunities, and other community amenities that are part of a healthy lifestyle (cf: CC-4).</p>	<p>The Project street system includes a network of walkways providing pedestrian connectivity to 15th Street and the existing sidewalks in 15th Street. Pedestrians can continue on existing streets and sidewalks to Greenbelt Park located to the south of the Project Site and to general retail commercial services located at Mountain Avenue and 16th Street approximately .8 miles away and along Foothill Boulevard near Euclid Avenue approximately 2.3 miles away. The Project is consistent with this policy.</p>

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<p>Policy HC-1.3 Complete Streets. Enhance and improve the safety, convenience, and accessibility of roadways with trees, sidewalks, bicycle lanes, and other amenities to encourage pedestrian, bike, and transit activity for residents of all ages and abilities.(cf: CIR-3)</p>	<p>The proposed street system for the Project is designed to create a distinctive sense of place for residents as a “walkable” community with pedestrian friendly tree lined streets creating an atmosphere where neighbors can visit with one another while walking along shaded sidewalks throughout the community. A simple two way loop street system is proposed to include a street adjacent sidewalk on one side of a segment of the westerly portion of the loop street, on both sides of a segment of the easterly portion of the loop street, and on the easterly side of the Project entrance. A separate walkway will be provided within the common area open space extending in a north/south direction through the Project. The Project is consistent with this policy.</p>
<p>Policy HC-2.2 Recreational Facilities. Support the availability and accessibility of age appropriate recreational facilities, both private or publicly owned, to meet the diverse recreational needs of Upland residents. (cf: OSC-2)</p>	<p>The proposed project includes the provision of approximately .355 acres (15,474 square feet) of private common area open space provided throughout the Project Site. Improvements within the common area open space include barbeque and picnic facilities, a basketball court, exercise station, and children’s play area. The Project is consistent with this policy.</p>
<p>6.8 Safety Element</p>	
<p>Policies</p>	<p>Specific Plan Consistency</p>
<p>Policy SAF-1.1 Exterior Noise Standards. Require noise mitigation for all development where the projected exterior noise levels exceed those shown in Table SAF-1, to the extent feasible. (60 dBA)</p>	<p>As part of the Project an acoustical study will be prepared to identify exterior and interior noise levels affecting residences in the Project and construction design and materials required for the Project to mitigate exterior noise levels to 60 dBA for the Project. The Project is consistent with this policy.</p>
<p>Policy SAF-1.3 Interior Noise Standards. Require new development to include noise mitigation to assure acceptable interior noise levels appropriate to the land use type: 45 dBA Ldn for residential, transient lodgings, hospitals, nursing homes, and other uses where people normally sleep; and 45 dBA Ldn (peak hour) for office buildings and similar uses.</p>	<p>As part of the Project an acoustical study will be prepared to identify exterior and interior noise levels affecting residences in the Project and construction design and materials required for the Project to mitigate interior noise levels to 45 dBA Ldn for the Project. The Project is consistent with this policy.</p>

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<p>Policy SAF-1.6 Acoustical Study. Require an acoustical study for all new residential developments that lie within the 65 Ldn noise contour on the Future Noise Contour Map, to ensure indoor levels will not exceed City standards. In addition, the City shall continue to enforce the California Building Code for indoor noise levels.</p>	<p>As part of the Project an acoustical study will be prepared to identify whether the Project falls within the 65 Ldn noise contour on the Future Noise Contour Map and to ensure that indoor levels will not exceed City standards. The Project is consistent with this policy.</p>
<p>Policy SAF-2.7 New Development. Require evaluation of potential flood hazards prior to approval of development projects.</p>	<p>An evaluation of potential flood hazards to the Project will be included as part of the Mitigated Negative Declaration prepared for the Project. The Project is consistent with this policy.</p>
<p>Policy SAF-4.3 Development. Continue to require all development, new and existing, to provide necessary service, fire hydrants and road improvements consistent with the California Fire Code.</p>	<p>Development of the Project will include construction of any and all facilities identified by the Fire Department to comply with the California Fire Code. The Project is consistent with this policy.</p>
<p>Policy SAF-4.4 Development Review. Include the Fire Department in the review of development proposals to ensure projects adequately address safe design and on-site fire protection and comply with applicable fire and building codes.</p>	<p>As part of the City’s review of the proposed Project, the Fire Department will be consulted for input on the proposed Project plans. The Project is consistent with this policy.</p>

